

# COLTON'S HUB CITY CENTRE SPECIFIC PLAN



CITY OF COLTON  
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# **COLTON'S HUB CITY CENTRE SPECIFIC PLAN**

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# TABLE OF CONTENT

## 1.0 Overview

1.1 Purpose.....	1-2
1.2 Project Background.....	1-2
1.3 Context and Location.....	1-3
1.4 Specific Plan Amendment Area.....	1-3
1.5 Community Vision .....	1-4
1.6 Summary of Benefits to the City of Colton .....	1-14
1.7 Authority for the Specific Plan .....	1-15
1.8 Consistency with the General Plan.....	1-16
1.9 CEQA Compliance.....	1-16
1.10 Relationship of the Specific Plan to the City of Colton.....	
Zoning Ordinance, Title 18 of the Municipal Code.....	1-16
1.11 Existing Site Conditions and Uses .....	1-17
1.12 Property Ownership .....	1-17
1.13 Project Surrounding Land Uses.....	1-17
1.14 Document Organization .....	1-19

## 2.0 Community Planning and Design Goals

## 3.0 Land Use Plan and Components

3.1 Land Use Summary .....	3-6
3.2 Other Major Components.....	3-13

## 4.0 Development Regulations

4.1 General Provisions .....	4-1
4.2 Land Use Development Regulations.....	4-3
4.2.1 Retail (R).....	4-3
4.2.2 Retail Mixed Use (RMU) .....	4-10
4.2.3 Business Park (BP).....	4-10
4.2.4 Office Mixed Use (OMU) .....	4-15
4.2.5 Residential Medium1 (RES-M1).....	4-21
4.2.6 Residential Mixed Use (RES-MU).....	4-29
4.3 Open Space/Parks (OS/P) and Open Space Habitat (OS/H).....	4-39
4.4 Sign Regulations.....	4-39

---

## 5.0 Circulation, Public Facilities and Services

<b>5.1</b>	Circulation Plan .....	5-1
<b>5.2</b>	Infrastructure: Grading, Sewer, Water, Storm Drainage,.....	
	Utilities.....	5-5
5.2.1	Overview .....	5-5
5.2.2	Master Grading Plan.....	5-5
5.2.3	Master Sewer Plan .....	5-7
5.2.4	Master Water Plan .....	5-7
5.2.5	Master Storm Drain.....	5-8
5.2.6	Utilities.....	5-9
<b>5.3</b>	Community Services .....	5-10
5.3.1	Police and Fire Protection.....	5-10
5.3.2	Library Services.....	5-10
5.3.3	Public Schools .....	5-10
<b>5.4</b>	Capital Improvement Program.....	5-10
<b>5.5</b>	Infrastructure Development Requirements .....	5-11
<b>5.6</b>	Maintenance .....	5-11

## 6.0 Community Design Guidelines

<b>6.1</b>	Purpose and Intent .....	6-1
<b>6.2</b>	Design Guideline Objectives.....	6-2
<b>6.3</b>	Community Identity / Village Environment.....	6-2
<b>6.4</b>	Retail Guidelines .....	6-3
<b>6.5</b>	Office Guidelines .....	6-23
<b>6.6</b>	Business Park.....	6-28
<b>6.7</b>	Residential Guidelines .....	6-35
<b>6.8</b>	Residential Mixed Use Objective Design Standards – Site Planning .....	6-50
<b>6.9</b>	Residential Mixed Use – Building Design .....	6-57
<b>6.10</b>	Residential – Site Landscape, Wall and Fence Guidelines..	6-61
<b>6.11</b>	Community Entry Monuments, Walls and Fences .....	6-63
<b>6.12</b>	Community Streetscape Master Plan and Guidelines.....	6-64
<b>6.13</b>	Open Space Plan – Park and Habitat .....	6-74
<b>6.14</b>	Landscape Planting Guidelines .....	6-78
6.14.1	Plant Material Guidelines .....	6-78
6.14.2	Plant Palette.....	6-79
6.14.3	Irrigation.....	6-80

---

## 7.0 Administration

<b>7.1</b>	Colton’s Hub City Centre Specific Plan (CHCCSP) Adoption and Applicability .....	7-1
<b>7.2</b>	Implementation .....	7-1
7.2.1	Development Review Process .....	7-2
7.2.2	Conveyance Maps .....	7-2
<b>7.3</b>	Procedures for Project Review, Approval and Amendment ..	7-2
7.3.1	Plan Approval .....	7-2
7.3.2	Design Review .....	7-2
7.3.3	Objective Design Standards for Residential Mixed Use Projects .....	7-4
7.3.4	Plan Consistency .....	7-5
7.3.4	Master Plan Requirements for Retail (R), .....	
	Retail Mixed Use (RMU) or Office Mixed Use (OMU) .....	7-5
7.3.5	Minimum and Maximum Residential Density Ranges .....	7-6
7.3.6	Commercial Buildings - Permitted Total Square Feet .....	7-8
7.3.7	Specific Plan Amendments .....	7-8
7.3.8	Findings for Approval of Specific Plan Amendments .....	7-8
7.3.9	Minor Modifications .....	7-9
7.3.10	Effective Date .....	7-9
<b>7.4</b>	Nonconforming Uses Structures and Lots .....	7-10
7.4.1	Purpose And Intent .....	7-10
7.4.2	Definitions .....	7-10
7.4.3	Nonconforming Uses .....	7-10
7.4.4	Nonconforming Structures .....	7-11
7.4.5	Nonconforming Lots .....	7-12
7.4.6	Other Nonconformities .....	7-12
7.4.7	Repairs And Maintenance .....	7-12
7.4.8	Abandonment .....	7-13
7.4.9	Determination Of Nonconforming Status .....	7-13
7.4.10	Nonconforming Uses Detrimental to Health and Safety ...	7-14
7.4.11	Appeals .....	7-14
<b>7.5</b>	Enforcement .....	7-14
<b>7.6</b>	Definitions .....	7-15

## 8.0 Appendix

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## FIGURES

Figure 1-1 Regional Map.....	1-5
Figure 1-2 Project Vicinity Map .....	1-6
Figure 1-3 Aerial Photo.....	1-7
Figure 1-4 Existing Conditions-Area A.....	1-8
Figure 1-5 Existing Conditions-Area B.....	1-9
Figure 1-6 Existing Conditions-Area C.....	1-10
Figure 1-7 Topography.....	1-11
Figure 1-8 Colton’s Hub City Centre Specific Plan Area .....	1-12
Figure 1-9 Comparison of Changes to CHCCSP .....	1-13
Figure 1-10 Property Ownership Map .....	1-18
Figure 3-1 Land Use Plan .....	3-4
Figure 3-2 Conceptual Master Plan Rendering .....	3-5
Figure 4-1 Separations for Garden Court RES-M1 Detached Homes .....	4-27
Figure 5-1 Circulation Plan .....	5-3
Figure 5-2 Street Sections.....	5-4
Figure 5-3 Bike Lane and Sidewalk Master Plan .....	5-6
Figure 5-5 Master Sewer Plan .....	5-13
Figure 5-6 Master Storm Drain Plan .....	5-15
Figure 5-7 Master Water Plan.....	5-17
Figure 6-1 Main Street Guidelines.....	6-5
Figure 6-2 Main Street Entry Guidelines.....	6-6
Figure 6-3 Retail Main Street Architecture Guidelines.....	6-7
Figure 6-4 Main Street Architectural Guidelines.....	6-8
Figure 6-5 Movie Theater Guidelines .....	6-9
Figure 6-6 Pedestrian Walkway Guidelines.....	6-11
Figure 6-7 Entry Monument / Fountain Concept.....	6-13
Figure 6-8 Large Format Store Guidelines.....	6-15
Figure 6-9 Hospitality Guidelines.....	6-17
Figure 6-10 Service Station Guidelines .....	6-19
Figure 6-11 Drive-Thru Guidelines.....	6-22
Figure 6-12 Office Guidelines .....	6-25
Figure 6-13 Office Guidelines .....	6-26
Figure 6-14 Office Guidelines .....	6-27

Figure 6-15 Business Park Guidelines..... 6-30

Figure 6-16 Business Park Guidelines..... 6-31

Figure 6-17 Business Park Guidelines..... 6-32

Figure 6-18 Business Park Guidelines..... 6-33

Figure 6-19 Business Park Guidelines..... 6-34

Figure 6-20 Cottage Style Architecture Guidelines ..... 6-38

Figure 6-21 Craftsman Style Architecture Guidelines..... 6-39

Figure 6-22 Spanish Eclectic Style Architecture Guidelines..... 6-40

Figure 6-23 Monterey Style Architecture Guidelines..... 6-41

Figure 6-24 Window Guidelines - Residential ..... 6-42

Figure 6-25 Porches and Balconies Guidelines - Residential..... 6-43

Figure 6-26 Columns and Posts Guidelines - Residential ..... 6-44

Figure 6-27 Motorcourt Guidelines RES-M1 ..... 6-45

Figure 6-28 Townhouse Guidelines RES-M1 ..... 6-46

Figure 6-29 Garden Court Guidelines RES-M1 ..... 6-47

Figure 6-30 Garden Court Guidelines RES-M1 ..... 6-48

Figure 6-32 Community Wall/Entry Monument Master Plan.... 6-66

Figure 6-33 Community Entry Monument A ..... 6-67

Figure 6-34 Entry Monument Guidelines ..... 6-68

Figure 6-35 Streetscape Master Plan ..... 6-69

Figure 6-36 Streetscape Master Plan ..... 6-70

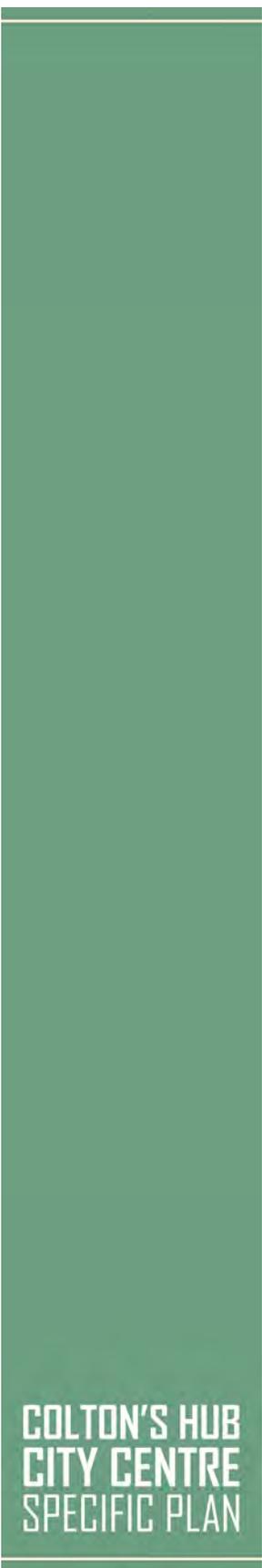
Figure 6-37 Streetscape Section..... 6-71

Figure 6-38 Streetscape Section..... 6-72

Figure 6-39 Streetscape Section..... 6-73

Figure 6-40 Open Space Plan..... 6-75

Figure 6-41 Lighting Guidelines ..... 6-77



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## TABLES

Table 3.1 — Land Use Summary .....	3-2
Table 3.2 — Planning Area Summary .....	3-3
Table 4-A — Development Regulations and Standards RES-M1 Detached Homes .....	4-24
Table 4-B — Development Regulations and Standards RES-M1 Attached Homes .....	4-25
Table 4-D — Development Regulations and Standards RES-MU4-25	
Table 5.1 — Maintenance Responsibilities .....	5-12
Table 6.1 — Plant Materials List .....	6-81

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# SECTION 1 INTRODUCTION

## 1.0 OVERVIEW

In June 1996, the City of Colton adopted the formerly known West Valley Specific Plan in response to the opportunities for economic growth and revitalization associated with the construction of the new Arrowhead Regional Medical Center and the community's desires to upgrade the overall appearance of the area. Since that time the region has matured with many new high quality developments to the east and west, while properties within the Specific Plan area have remained largely undeveloped.

In early 2007, the City staff revisited the Specific Plan land uses and overall plan-ning concepts and believed there was an opportunity to forge a new vision that would create a vibrant new community, one that would create new jobs, strengthen the City's tax base, and provide opportunities for a mixed use community includ-ing a shopping center, business parks, housing and recreation. Based upon staff's recommendations, the City Council authorized an update of the Specific Plan and selected a team of consultants to assist the City in developing a new vision, focused on the areas west of Hermosa Avenue. In June 2007, a contract was ap-proved by the City Council for development of a Specific Plan Amendment. Due to the recession that began in late 2007, the project was placed on hold in late 2009. However, planning activities were re-activated in late 2010; a property-owner workshop was held in August 2011. In August of 2012, with signs that the economy was on the mend, the City Council approved a revision of the contract with the same consultant team that started in 2007. The contract provided an opportunity to update the draft Specific Plan to conform with the new habitat conservation areas identified in the draft Habitat Conservation Plan. The scope of the Specific Plan changed dramatically based on City Manager direction in November 2012, followed by input and direction received at a joint Planning Commission / City Council workshop held in January 2013. During the process, the project name was changed to Colton's Hub City Centre Specific Plan to reflect the City's vision to create a dynamic mixed use center where people can live, shop, work and play.

## 1.1 PURPOSE

The primary purpose of the Colton's Hub City Centre Specific Plan (CHCCSP) is to implement the vision and policies of the City of Colton. The Specific Plan will update a portion of the Specific Plan that was previously adopted in 1996 as a separate, stand-alone Specific Plan.

Specifically, the purpose of this Specific Plan is to:

Articulate and implement the Vision that evolved during public workshops in 2007 / 2008, 2011 and 2013 with members of the community, city staff, Planning Commission and City Council, which includes the following:

- Establish a land use plan with comprehensive development regulations, community planning and design standards that will create a sense of community and a sense of place.
- Create a community that becomes a place where people are encouraged to walk or bicycle between homes, shopping, restaurants, entertainment and businesses.
- Assure that the area develops in a comprehensive and coordinated fashion with adequate consideration for infrastructure, public safety, public services, and resource management.
- Incorporate bus rapid transit (BRT) routes planned by Omnitrans along major streets within the CHCCSP project area.
- Create a new employment center for the City of Colton.
- Strengthen the City's economic base.
- Implement the goals and policies of the City of Colton General Plan.

## 1.2 PROJECT BACKGROUND

The previous West Valley Specific Plan, adopted on June 18, 1996, was prepared in response to the opportunities for economic growth and revitalization associated with the construction of the new Arrowhead Regional Medical Center and the community's desire to upgrade the overall appearance of the area.

Since that time, the Inland Empire has experienced growth in all market sectors. While other nearby communities along the I-10 Freeway corridor, such as Rancho Cucamonga, Ontario and Redlands have experienced much of this new growth, the Specific Plan area has lagged behind.

A large part of the delay has been the result of the presence of the Delhi Sands Flower Loving Fly, particularly on the western portion of the project area. Since the Fly is a federally listed "endangered species" and since development of land impacted by the Fly is prohibited by federal law unless certain requirements are met, development opportunities have been limited.

During the last three and one half years, a significant effort and investment by the City of Colton has occurred to address the mitigation needs of the Fly. A Habitat Conservation Plan (HCP) has been authorized by the City and has been submitted

to U.S Fish and Wildlife Service. This Specific Plan incorporates the conservation areas specified in the HCP. The HCP is an independent process and is proceeding concurrently with this Specific Plan.

As of October 2013, other reasons for the lag relate to the recession that began in 2007, a lack of sufficient infrastructure, an undefined time frame for the I-10 Freeway and Pepper Avenue interchange improvements (now scheduled for 2014) and the reluctance of the market place to move forward in a piecemeal manner without a comprehensive development program.

There are strong indicators that the market has turned the corner and is on the rebound. The adoption of this Specific Plan by the City Council will go a long way not only to establish a comprehensive community vision but set the foundation necessary for prospective developers and builders to bring that vision to reality.

### 1.3 CONTEXT AND LOCATION

The CHCCSP is located in the western part of the City of Colton in western County of San Bernardino. It is adjacent to and east of the City of Rialto boundary. Figures 1-1 through 1-9 in this section identify the relationship of the project area to the region, local vicinity and include current site uses and existing topography. From a regional perspective, this project site is located approximately one mile west of downtown Colton, four miles southwest of downtown San Bernardino, nine miles north of the City of Riverside, and fifty-five miles east of the City of Los Angeles.

The southern boundary of the CHCCSP area is located adjacent to the I-10 Freeway with primary access from an interchange at Pepper Avenue. A second interchange, at the I-10 Freeway and Riverside Avenue, is less than ¼ mile from the western boundary of the site. The northern boundary of the site is defined by San Bernardino Avenue, the east side by Hermosa Avenue, and the west side by the City of Colton and City of Rialto boundary.

### 1.4 SPECIFIC PLAN AMENDMENT AREA

The previous West Valley Specific Plan consisted of two Subareas: the West Subarea of approximately 476 acres and the East Subarea of approximately 152 acres which are separated by an unincorporated island of land under jurisdiction of the County of San Bernardino. The West Subarea is bounded by San Bernardino Avenue on the north, the city boundary on the west, the I-10 Freeway on the south, and the Union Pacific Railroad on the east. The East Subarea is bounded by “C” Street on its uppermost northern parts, Grand Avenue on the west, the San Bernardino I-10 Freeway on the south, and the Burlington Northern and Santa Fe Railroad tracks near Pennsylvania Avenue on the east.

The Colton’s Hub City Centre Specific Plan is revising and amending a portion of the West Subarea of the previous West Valley Specific Plan area; the East Subarea will remain unaffected by this amendment. Of the West Subarea, approximately 373 acres of the total 476 acres is affected by this amendment. The difference of 103 acres is the result of excluding the areas encompassed by the Arrowhead Regional Medical Center and the existing Hermosa Memorial

Cemetery, uses expected to remain for the long term and that are compatible with the goals and policies of the City General Plan. Figure 1-8 identifies the previous West Valley Specific Plan boundary and the portion this project is amending. Figure 1-9 includes a side by side summary of the current and proposed land uses within the CHCCSP.

## 1.5 COMMUNITY VISION

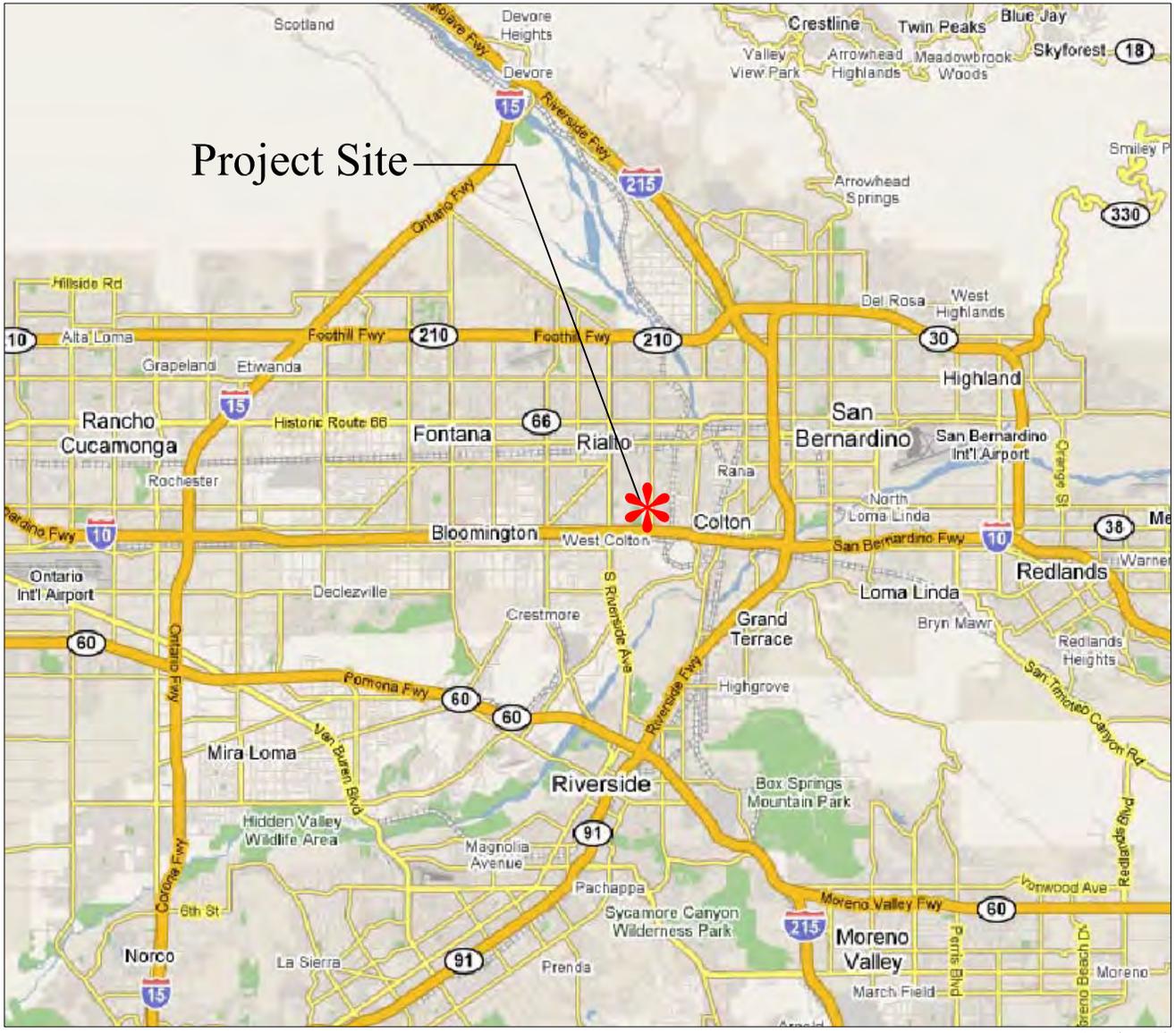
The vision for the CHCCSP evolved out a series of steps during the formation of the Plan, each one building upon the other. These included: 1) a series of public outreach meetings and workshops with property owners, members of the community, City Council, Planning Commission and representatives from the City of Rialto, which shares a boundary with the CHCCSP, 2) a site tour of multiple high quality communities within Southern California with representatives of the City Council, Planning Commission, and city staff, 3) discussions and meetings with representatives of the Arrowhead Regional Medical Center adjacent to the project boundary, 4) discussions with representatives of the development industry to listen to their input regarding land use and market considerations, 5) contact with local Indian tribes and, 6) meetings with city staff and various governmental agencies including the Rialto Unified School District, County of San Bernardino Flood Control District, West Valley Water District and Omnitrans representatives.

During earlier times within the City of Colton, movie theaters, small scale shopping districts, and other amenities created a once vibrant and inviting atmosphere that residents and visitors could enjoy. However, those uses have all but disappeared in the last 25+ years. Colton is not unique in this regard. Small scale towns with vibrant Main Streets have all but disappeared in many communities throughout the nation. However, during the past decade there has been a resurgence in a large number of major metropolitan areas to revive traditional town planning principles that guided the original planning of small town centers, Main Streets, and quaint and charming neighborhoods that adjoined them.

The Vision for the CHCCSP is to restore the sense of community, vibrancy and vitality of the small town atmosphere. This includes incorporating a broad range of uses all within walking distance of one another, including shopping, restaurants, entertainment, hospitality, offices, housing, parks and open space. In addition, the Vision includes creating a new main street setting, new employment opportunities and establishing a new strong economic base for the City.

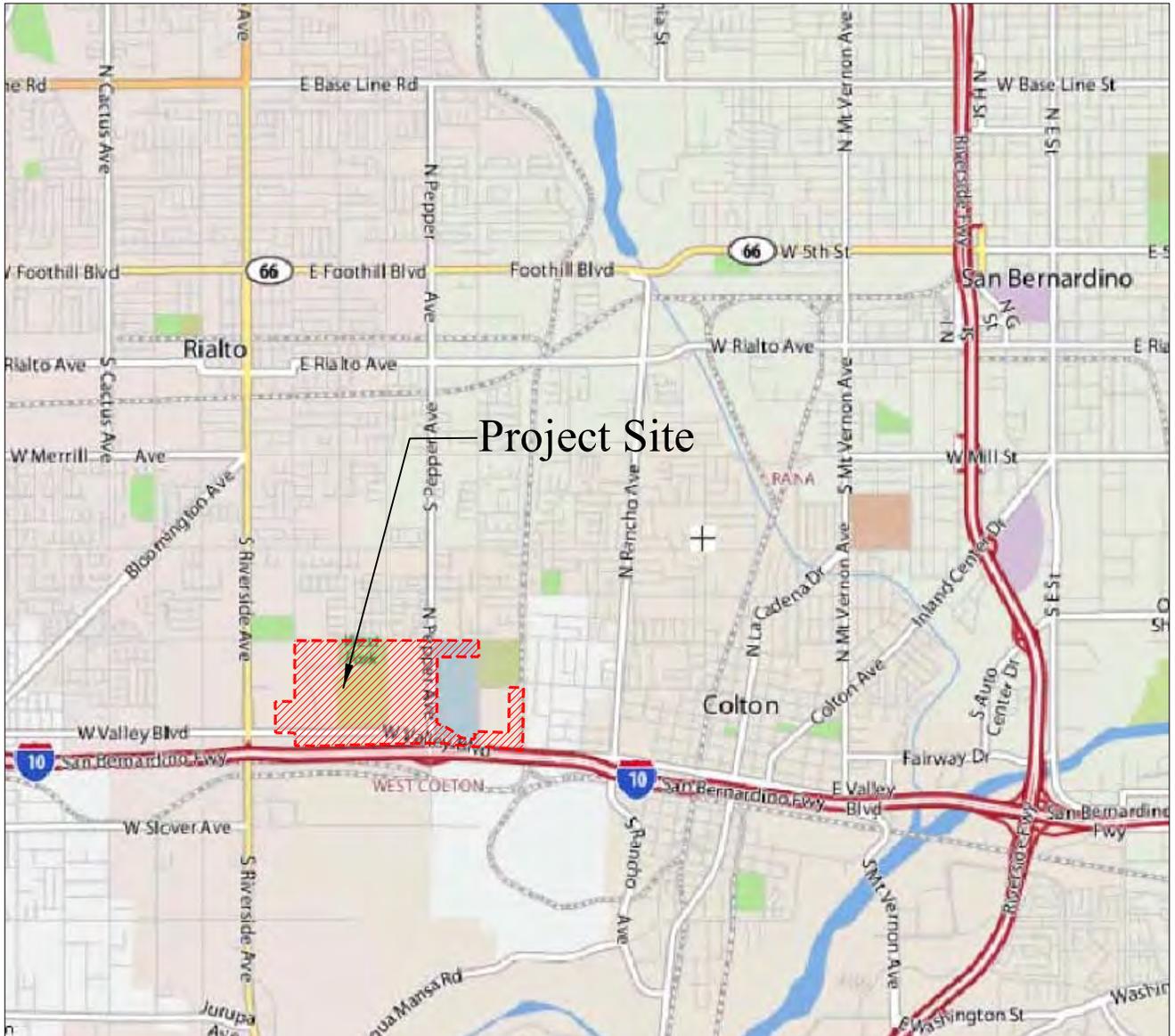
### VISION TO REALITY

There are many reasons the CHCCSP is well positioned to see this Vision transformed into reality. The CHCCSP is strategically located with direct access and visibility from the I-10 Freeway / Pepper Avenue interchange and is within a short distance to the Riverside Avenue / I-10 Freeway interchange. Major improvements to the I-10 Freeway / Pepper Avenue interchange scheduled for 2014, including increasing the number of travel lanes, will enhance the desirability of the area.



Source: Google Earth

FIGURE 1-1  
REGIONAL MAP



Source: Google Earth

FIGURE 1-2  
PROJECT VICINITY MAP



FIGURE 1-3  
AERIAL PHOTO

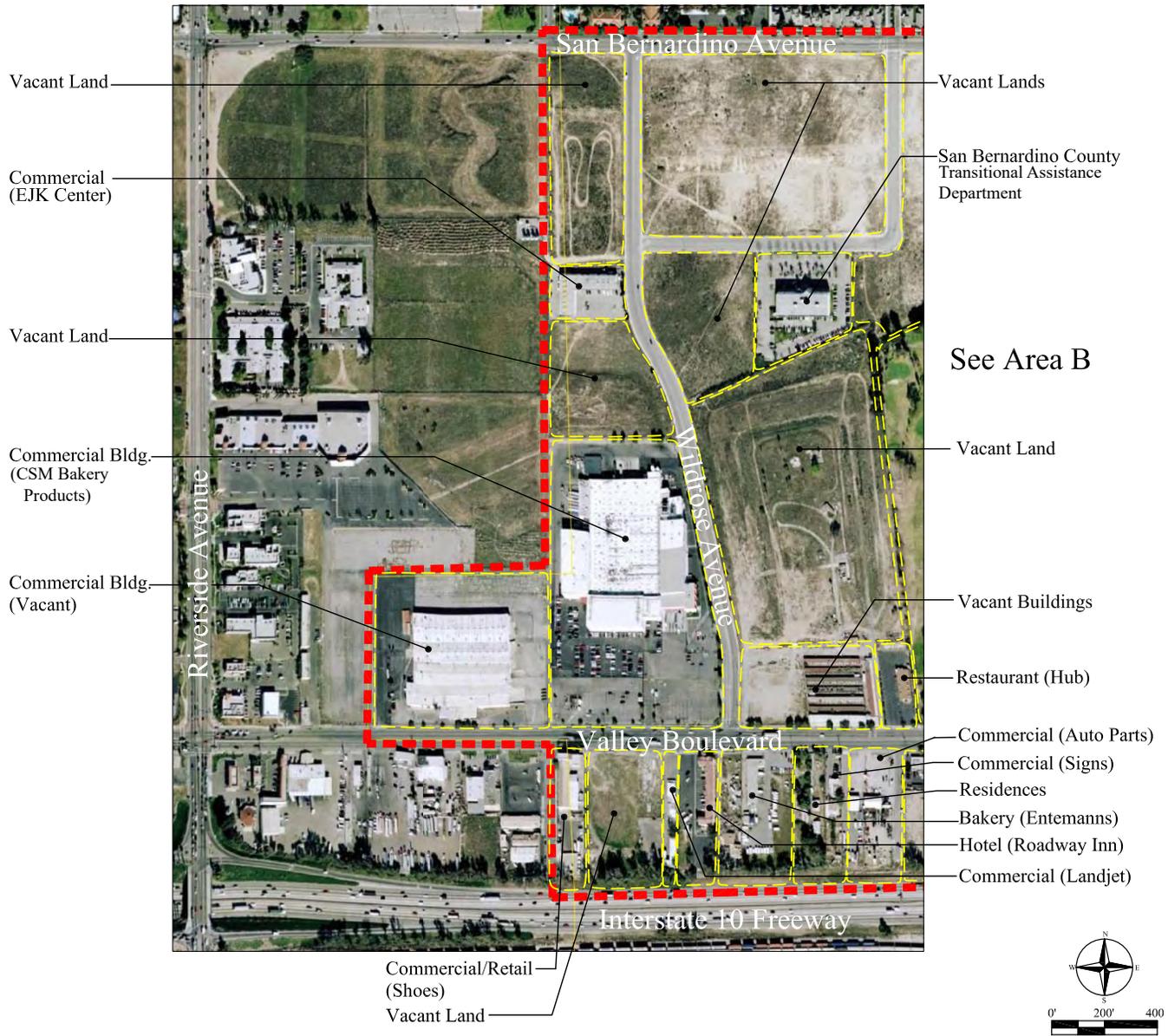


FIGURE 1-4  
EXISTING CONDITIONS-AREA A



FIGURE 1-5  
EXISTING CONDITIONS-AREA B

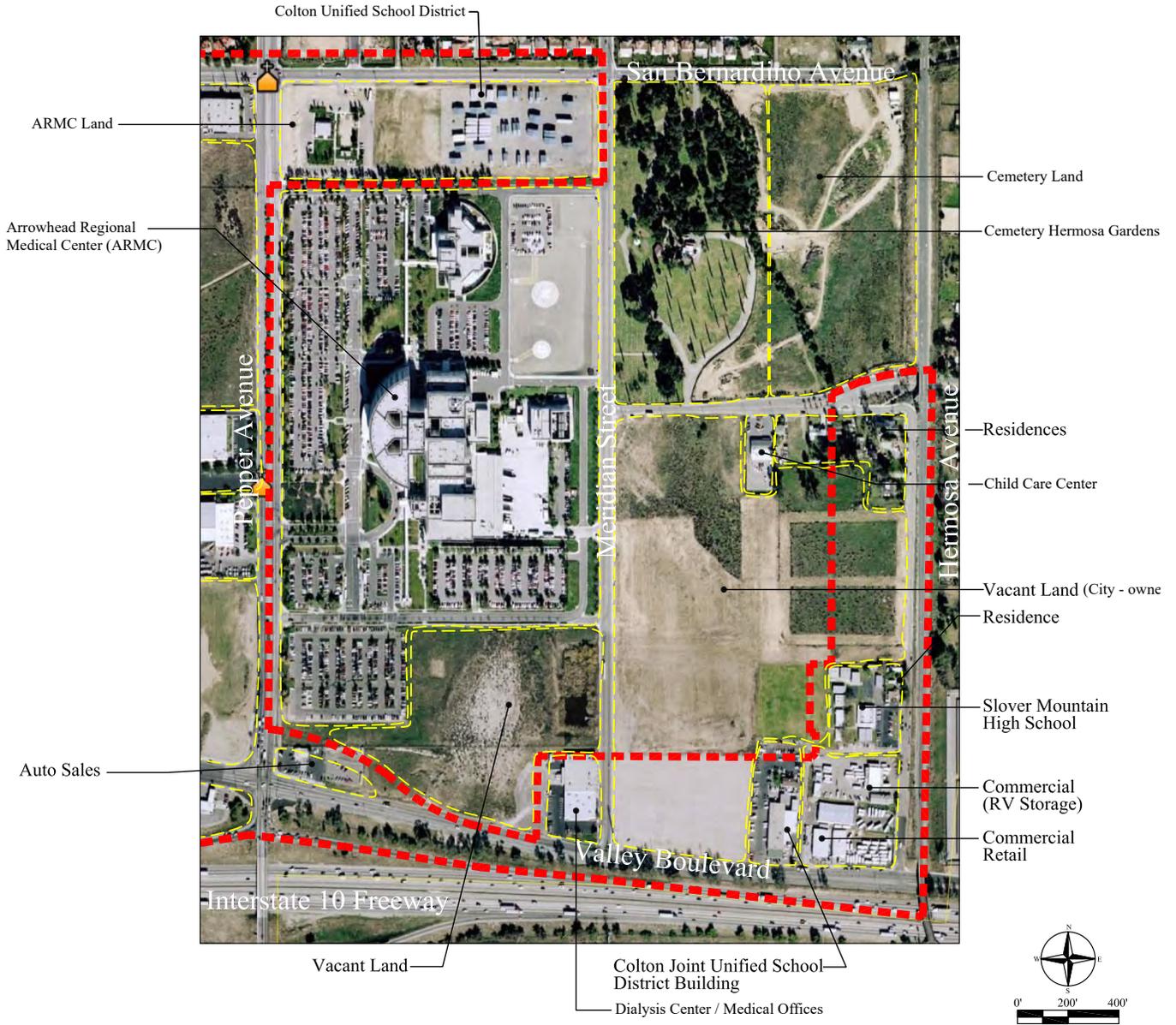


FIGURE 1-6  
EXISTING CONDITIONS-AREA C



FIGURE 1-7  
TOPOGRAPHY

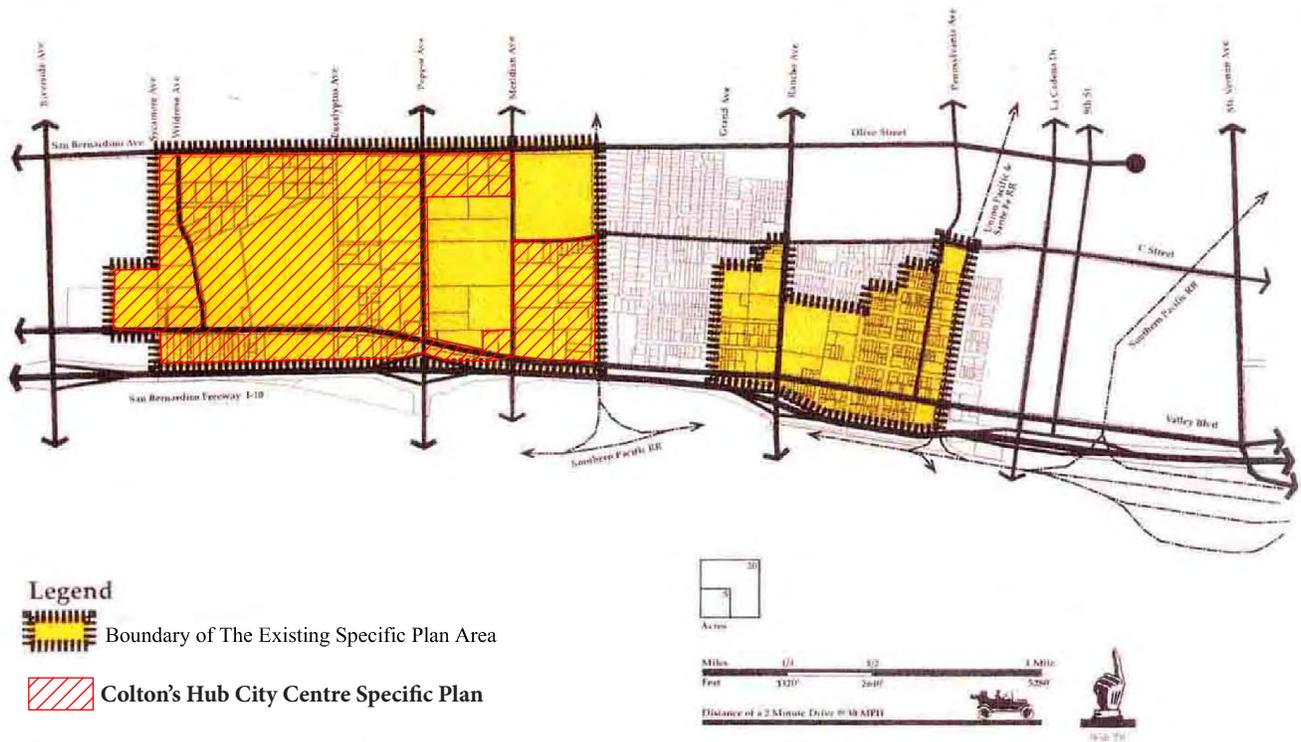
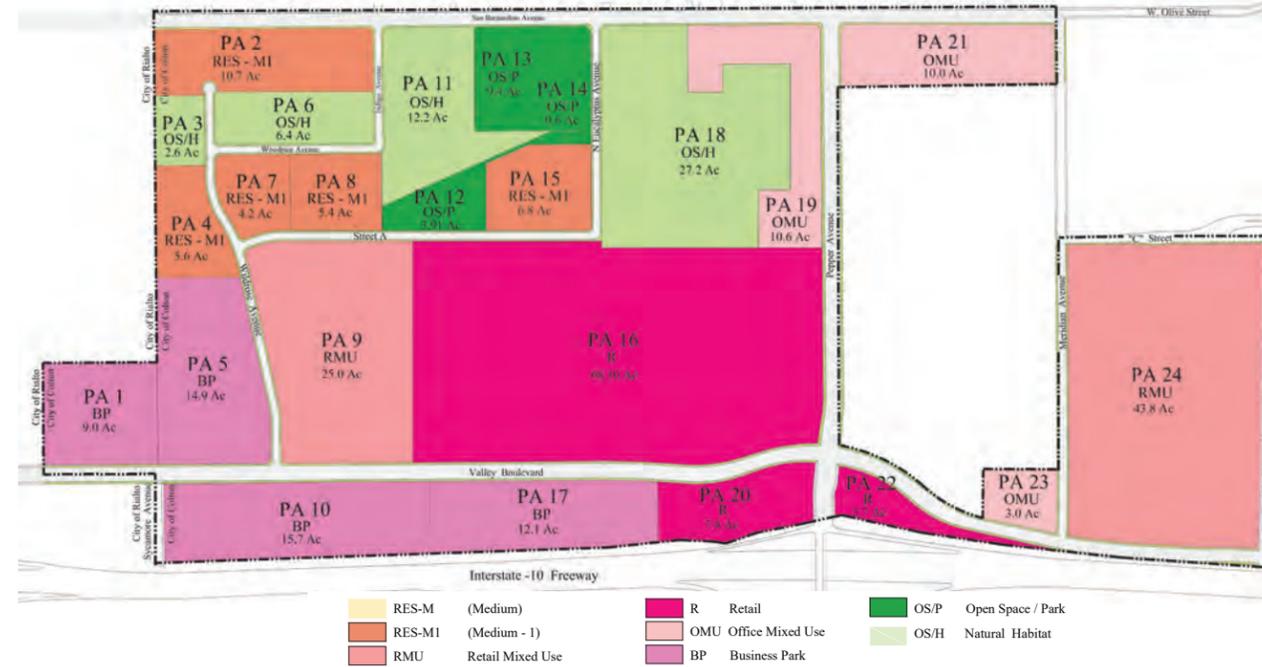
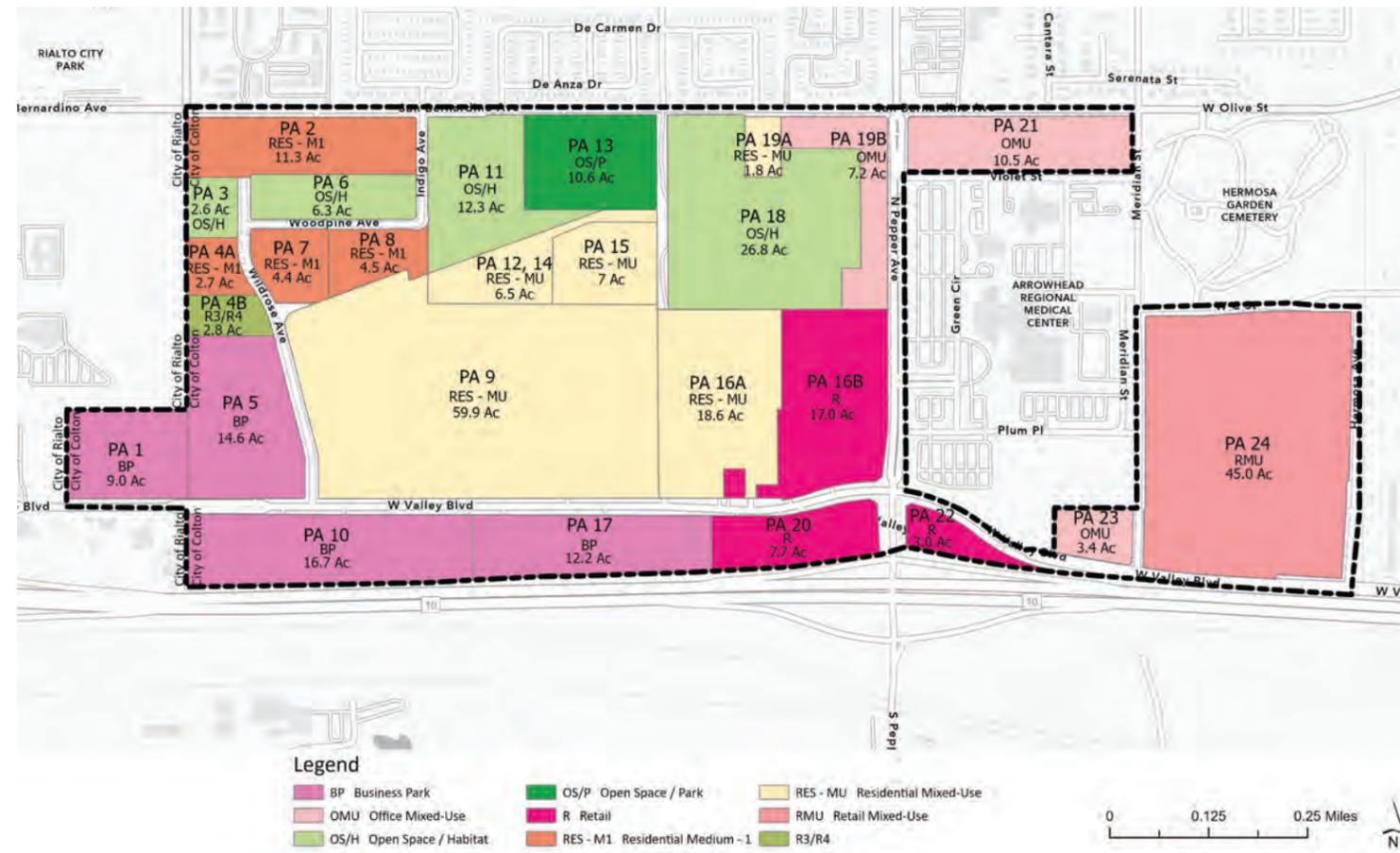


FIGURE 1-8  
COLTON'S HUB CITY CENTRE SPECIFIC PLAN AREA



Existing Colton's Hub City Center Land Use Plan



Proposed Colton's Hub City Center Land Use Plan

FIGURE 1-9  
COMPARISON OF CHANGES TO CHCCSP

2. **Freeway Access and Visibility.** The site includes over one mile of I-10 Freeway frontage with 200,000+ vehicles per day passing by the site with an interchange located at Pepper Avenue. It is located in the heart of the Inland Empire, within 3.5 miles of the I-215 Freeway and 10.5 miles of the I-15 Freeway.
3. **Demographics.** While the recession that began in 2007 slowed population growth, strong population growth in the Inland Empire is expected over the next 10 years. The CHCCSP will help serve the resulting demand for new homes, retail, office, hospitality and business uses.
4. **ARMC.** The Arrowhead Regional Medical Facility is located adjacent to the site near the I-10 Freeway / Pepper Avenue interchange. The hospital currently employs over 3,000 people and is projected to increase to 3,800 in the near future. This number of employees is expected to increase with the implementation of the federal Affordable Care Act. In addition, over 320,000 patient visits occur each year. Since no significant shopping, services or restaurants occur nearby to serve the hospital, many of the future uses in the Specific Plan are expected to benefit from this close proximity to this major facility.
5. **Bus Rapid Transit.** The Compass Blueprint Study, prepared in 2007 by the Southern California Association of Governments (SCAG) identifies planned future bus rapid transit (BRT) routes in the Inland Empire. Two or more stops are planned within the Specific Plan boundaries. With more and more people seeking out ways to avoid using their vehicles to commute and the desire of many to be more environmentally conscious, options such as bus rapid transit will only enhance the desirability of the Specific Plan area for businesses and homebuyers.
6. **A Livable Community.** A growing desire for a high quality mixed use community in the western Inland Empire.

## 1.6 SUMMARY OF BENEFITS TO THE CITY OF COLTON

The following summarizes the benefits that full implementation of the Colton's Hub City Center Specific Plan will provide to the City:

1. Implements the City's vision for creating a new "Hub" where people can live, work, shop and play.
2. Implements the City's vision for quality development and creating a distinctive setting within the City.
3. Creates the foundation for a high quality office, business, retail and hospitality hub adjacent to the I-10 Freeway, Valley Boulevard and Pepper Avenue corridors.
4. Provides opportunities for high quality housing.
5. Provides a neighborhood and sets aside preserved habitat that will allow revitalization to occur.
6. Incorporates bus rapid transit options for those that live, work or visit the community, which in turn benefits the environment and reduces congestion on the freeways.

7. Creates new employment opportunities.
8. Contributes to the balance of jobs and housing in the City by providing for a mix of residential, commercial, business park, general and medical office uses.
9. Brings significant public facility and infrastructure improvements, including streets, storm drains, sewers, curb, gutter and sidewalks and other utilities that benefit the project area and adjacent developing areas.
10. Generates opportunities for significant new sales and property tax revenue for the City, which in turn helps eliminate blight and benefits the local area.
11. In conjunction with adoption of a Habitat Conservation Plan, a majority of property owners within the Specific Plan Area that were economically constrained due to the impacts associated with the Delhi Sands Fly will now have development options.

## 1.7 AUTHORITY FOR THE SPECIFIC PLAN

Sections 65450 et seq. of the Government code sets forth basic requirements and provisions for specific plans. The Government Code specifically states:

“After the legislative body has adopted a general plan, the planning agency may, or if so directed by the legislative body, shall prepare specific plans for the systematic implementation of the general plan for all or part of the area covered by the general plan.”

Section 65451 of the Government Code requires that specific plans include text and a diagram or diagrams that specify all of the following:

1. The distribution, location and extent of the uses of land, including open space, within the area covered by the plan.
2. The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
3. Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
4. A program of implementation measures including regulations, programs, public works projects and financing measures necessary to carry out the project.
5. A statement of the relationship of the Specific Plan Amendment to the General Plan.

The CHCCSP has been developed in conformance with the requirements of the State of California Government Code and the City of Colton General Plan.

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## 1.8 CONSISTENCY WITH THE GENERAL PLAN

The Colton's Hub City Centre Specific Plan has been developed to implement the goals and policies of the City of Colton General Plan.

General Plan consistency is achieved when the land uses proposed within the specific plan are compatible with, and serve to achieve the objectives, policies, general pattern of land uses and programs set forth in the General Plan. The Governor's Office of Planning and Research defines how a Specific Plan should be consistent with the General Plan:

“An action, program or project is consistent with the General Plan if, considering all its aspects; it will further the objectives and policies of the General Plan and not obstruct their attainment.”

## 1.9 CEQA COMPLIANCE

In addition to the CHCCSP, an Environmental Impact Report (EIR) is being prepared under the City's authority in compliance with the California Environmental Quality Act (CEQA). The EIR serves as the program level environmental document for the CHCCSP. The EIR is intended to be an informational document designed to provide the City decision makers and general public with a full understanding of the potential environmental effects of the CHCCSP and provides appropriate mitigation measures.

Section 65457(a) of the Government Code provides that any development project, including any subdivision or any zoning change undertaken which is consistent with a Specific Plan for which an EIR has been certified, is exempt from further CEQA review, absent substantial changes or new information. Therefore, providing that future applications for development are consistent with the CHCCSP, no additional CEQA processes will be required for subsequent development. Additional technical reports or studies may be required by the city to assure compliance, such as acoustical studies to determine proper sound mitigation requirements.

## 1.10 RELATIONSHIP OF THE SPECIFIC PLAN TO THE CITY OF COLTON ZONING ORDINANCE, TITLE 18 OF THE MUNICIPAL CODE

Development standards, regulations, guidelines and administrative procedures have been tailored to implement the vision for the CHCCSP. These will be used by the City of Colton with property owners, developers, and builders to implement development through future parcel and tentative tract maps, final maps, improvement plans, and other site design and administrative reviews.

These standards, regulations, guidelines and administrative procedures shall supersede the relevant portions of the City of Colton Zoning Ordinance, Title 18 of the Municipal Code. If the CHCCSP does not cover specific topics or uses covered in the Municipal Code, then the City code shall prevail. If there is a discrepancy

between the City Zoning Ordinance and the Specific Plan, then the CHCCSP shall take precedence.

## 1.11 EXISTING SITE CONDITIONS AND USES

The CHCCSP area is located on a gently sloping alluvial plain varying in grade from approximately .5% to 1.5% across the property in a north / south direction. Figure 1-7, Topography Map, identifies the existing topography of the site. Grading and terracing of various parts of the northwest section of the site have occurred in the past. Exhibits of existing uses are shown on Figures 1-4, 1-5 and 1-6 labeled Areas A, B and C, respectively. Existing major and local streets can be seen on each of the exhibits.

Area A in Figure 1-4 identifies the western portion of the CHCCSP area and shows the relationship to the City of Rialto boundary. Within Area A, a large portion is vacant land. Existing buildings include CSM Bakery Products, a vacant warehouse structure, various commercial buildings, a motel, and an office building formerly occupied by the San Bernardino County Transitional Assistance Department.

Area B in Figure 1-5 identifies the central portion of the site and shows the area just west of Pepper Avenue. A significant portion of this area is also vacant land. A private golf course (Colton Golf Club) and George Brown park exist north of Valley Boulevard. Various commercial buildings occur to the north and south of Valley Boulevard, including a vacant former automobile dealership (Moss Brothers Ford) and other small businesses. Adjacent to the westside of Pepper Avenue is a former church facility (transitioning into a vocational school), a warehouse building and a trucking company.

Area C is shown on Figure 1-6 and includes the eastern portion of the Project Area. A major portion of the area directly east of Pepper Avenue is occupied by the County of San Bernardino's Arrowhead Regional Medical Center and the Hermosa Gardens Memorial Cemetery, which are both outside the CHCCSP's project area. Vacant land occupies a significant portion of Area C between Meridian Street and Hermosa Avenue with commercial retail uses at the southeastern corner of the site. Several residences and the Colton Unified School District's Slover Mountain High School are located along Hermosa Avenue.

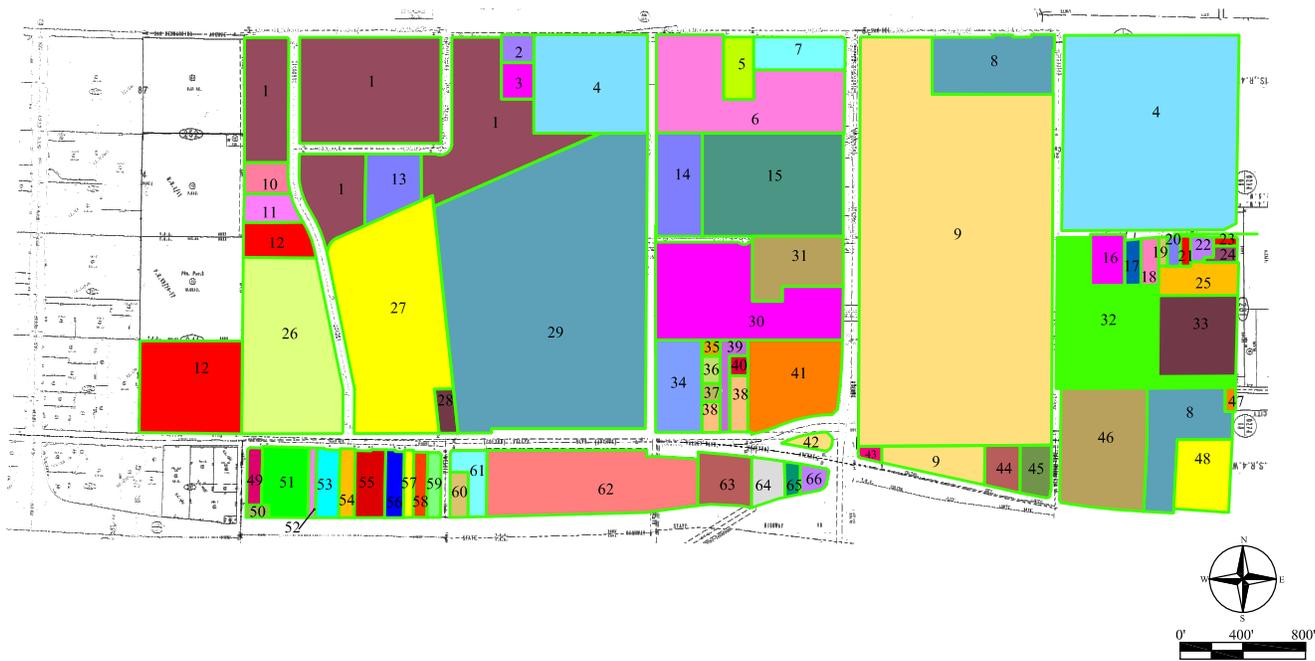
## 1.12 PROPERTY OWNERSHIP

The CHCCSP Specific Plan area includes over sixty property owners. Refer to Figure 1-10 for the Property Ownership Map.

## 1.13 PROJECT SURROUNDING LAND USES

Adjacent and surrounding land uses near the project area are summarized below. They are also shown in Figure 1-3.

North: Above San Bernardino Avenue, mostly single-family residential homes exist along the northern boundary. An apartment complex occurs at the north-



**OWNERSHIP LEGEND:**

1	CARL ROSS	27	FEROZE AHMED	53	ARVIND PATEL
2	NORMAN HOWER	28	JOE DIAZ	54	JOHN MARRYMAN
3	YASSAR TABBAA	29	H & H INVESTMENT	55	BIMBO BAKERIES
4	CITY OF COLTON	30	MCNEILUS MANUFACTURING	56	LUCIANO ESPINOZA
5	GUARDIAN TRUST	31	MORMON CHURCH	57	VICTOR ESPINOZA
6	TRANSPORTATION TERMINALS CO.	32	CITY OF COLTON	58	MACLIN MARKETS
7	WORLD PROPHETIC MINISTRY	33	RUDOLF MAYER	59	JOSE VASQUEZ
8	COLTON SCHOOL DISTRICT	34	CROWN ENTERPRISES INC.	60	PAUL LLC.
9	SAN BERNARDINO COUNTY	35	5-STAR AUTO	61	5-STAR AUTO
10	EJK ENT.	36	JOHN BARRETT	62	JOHN BARRETT
11	BARRY SACALAS	37	MARCHANT	63	EDWARD BERKI
12	2245 VALLEY LLC.	38	SRUN LIM	64	SHIRLEY CHADWICK
13	LAND N STOR	39	LOUIS BRAVO	65	HUBBS LLC
14	WILDLIFE FOUNDATION	40	ARTHUR PAIGE	66	VALLEY-ORANGE LLC.
15	PIERSON-BAUMGARTEN	41	ROY-MORRISON-HILL-WELLS-KASLER		
16	MARCELLA MARTIN ET. AL.	42	SBC		
17	PAUL SALERNO	43	PACIFIC OCEAN DR.		
18	GERALD FRIEDMAN	44	VERNON SCHAFER		
19	JORGE JAQUEZ	45	ALBERTA SCHAFER		
20	ARROWHEAD MEDICAL	46	COLTON REDEVELOPMENT AGENCY		
21	LINDA JONES	47	GENARO DEANDA		
22	BASILO RIOS	48	GREGORY HARRINGTON		
23	LINDA JONES	49	MIMM INC.		
24	MARY GODWIN	50	SBC WATER		
25	WILLIAM HARRING	51	GOLDBHUMI INC.		
26	TELCO FOOD PRODUCTS	52	BARRY SACALAS		

**FIGURE 1-10  
PROPERTY OWNERSHIP MAP**

western corner of the project area. A retail center with a supermarket is located at the northeast corner of Pepper Avenue and San Bernardino Avenue adjacent to the northern boundary of the CHCCSP.

East: The existing County of San Bernardino Arrowhead Regional Medical Center and the Hermosa Gardens Cemetery border the Plan area. At the far eastern edge of the boundary is a Southern Pacific railroad right of way.

West: The City of Rialto is adjacent to the project boundary on the west. A combination of conditions occur, including vacant land, commercial retail areas, a senior citizens center and residential uses associated with a senior care facility.

South: The I-10 Freeway borders the southern project boundary. A full freeway interchange exists at Pepper Avenue.

## 1.14 DOCUMENT ORGANIZATION

The following Sections are included in this Specific Plan document:

- 1.0 Introduction
- 2.0 Community Planning and Design Principles
- 3.0 Land Use Plan and Components
- 4.0 Development Regulations
- 5.0 Circulation, Public Facilities and Services
- 6.0 Community Design Guidelines
- 7.0 Administration
- 8.0 Appendix

## 1.15 2025 MIXED-USE ZONE AMENDMENTS

This plan was updated in 2025 following adoption of the City's 6th Cycle Housing Element to ensure consistency with the the City's General Plan. Amendments includes the creation and implementation of the RES-MU Zone.

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## SECTION 2 COMMUNITY PLANNING AND DESIGN PRINCIPLES

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### 2.0 COMMUNITY PLANNING AND DESIGN GOALS

A series of community planning and design goals are listed below. They provide the foundation for the formulation of the Land Use Plan and all sections that follow in this Specific Plan. These goals further define the Vision described in Section 1.0.

#### 2.1 CREATE A VIBRANT COMMUNITY WITH A RICH DIVERSITY OF USES INCLUDING RETAIL, OFFICE, BUSINESS PARK, ENTERTAINMENT, HOSPITALITY, RESIDENTIAL, PARK, AND OPEN SPACE USES.

Provide opportunities in the Land Use Plan for development of a major City Hub, one that is sufficient in size to support a mix of uses ranging from large department stores to small stores, that also includes professional and medical offices, business parks, housing, parks and open space. Encourage creation of a “Main Street” shopping area with cafes and shops.

#### 2.2 CREATE A WALKABLE COMMUNITY

Establish planning and design guidelines to provide connectivity among all uses through walkways and bikeways. Cluster and interconnect the various land uses where practical so most homeowners, office and business park users can walk to shopping and restaurant areas in approximately ten minutes.

#### 2.3 PROVIDE HIGH QUALITY DESIGN STANDARDS TO ENSURE A HIGH QUALITY COMMUNITY

In order to create a community that will improve in desirability and beauty for generations to come, establish design guidelines for planning, architecture and

landscape architecture for all land uses. Ensure that the guidelines take into account the many uses in the community and seek to establish a comprehensive design standard that will complement each other to create a unified plan.

## 2.4 PROMOTE SMART TRANSPORTATION

Incorporate Bus Rapid Transit (BRT) routes identified by Omnitrans in its Compass Blueprint Report to encourage commuting in an environmentally sustainable manner.

## 2.5 APPLY CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) PRINCIPLES TO PROMOTE SAFETY THROUGHOUT THE COMMUNITY

CPTED principles provide police, fire and other city departments a multi-disciplinary approach to enhance public safety. This can be achieved by coordinating final development plans with police, fire and other safety officials.

## 2.6 CREATE A PROSPEROUS COMMUNITY WITH A HIGH QUALITY OF LIFE

The ultimate goal is to create a community that offers a high quality of life, a sense of place, sense of belonging and community pride; one that revitalizes the area, creates jobs, and strengthens the City's tax base.

## 2.7 Provide Opportunities for Housing

Implement housing element programs by providing opportunities for a diverse housing stock. Maintain consistency with the City's Housing Element and General Plan as well as California state housing laws.

# LAND USE PLAN AND COMPONENTS

## 3.0 Land Use Plan and Components

The Community Vision, Community Planning and Design Principles described in Sections 1.0 and 2.0 have formed the basis for creating the Land Use Plan and Components for Colton's Hub City Centre. A summary of each of the land uses follows. Renderings and photographs shown throughout this chapter are provided to convey the type of uses included in the Plan and are not intended to represent a specific design solution. Refer to Sections 4.0 and 6.0 for greater detail regarding building development regulations and design guidelines.

The Land Use Plan, Figure 3-1, and Land Use Summary, Table 3.1, identifies the uses planned and their respective acres for the Specific Plan area. They include Retail, Business Park, Retail Mixed Use, Office Mixed Use, Residential, Residential Mixed Use, Open Space, Habitat and Park Uses. In the case of residential areas, the total dwelling units and density is also shown in the Table. Table 3.2 provides a detailed planning area summary for all uses.

A rendering illustrating the overall land use concept is shown in Figure 3-2. This bird's eye perspective view, looking north from the I-10 Freeway, also includes the existing Arrowhead Regional Medical Center on the far right for reference purposes. While specific building locations shown are conceptual, the intent is to graphically illustrate the general character of land uses in the Plan and to identify their relationship to one another and to the surrounding context.

<b>Table 3.1 — Land Use Summary</b>				
<b>Description</b>	<b>Land Use Designation</b>	<b>Acres</b>	<b>Target Dwelling Units*</b>	<b>Target Density*</b>
<b>Residential</b>				
Res Mixed Use	RES-MU	93.8	2,176	20-40 DU/AC
Res Medium-1	RES-M1	22.9	243	5.1-14 DU/AC
R3/R4	R3/R4	2.8	50	20-30 DU/AC
<b>Residential Subtotal</b>		<b>119.5</b>	<b>2,469</b>	
<b>Commercial/Business</b>				
Retail	R	27.6		
Retail Mixed Use	RMU	45.0		
Office Mixed Use	OMU	21.1		
Business Park	BP	52.4		
<b>Commercial Subtotal</b>		<b>146.1</b>		
<b>Open Space</b>				
Open Space / Park	OS/P	10.6		
Open Space / Habitat	OS/H	48.1		
<b>Open Space Subtotal</b>		<b>58.7</b>		
<b>Other Public Uses</b>				
Major Street Rights-of-		48.8		
<b>Other Uses Subtotal</b>		<b>48.8</b>		
<b>Project Total</b>		<b>373.2</b>	<b>2,469***</b>	
* Refer to Section 7.3.5 for definition of Target Dwelling Units and Target Density.				

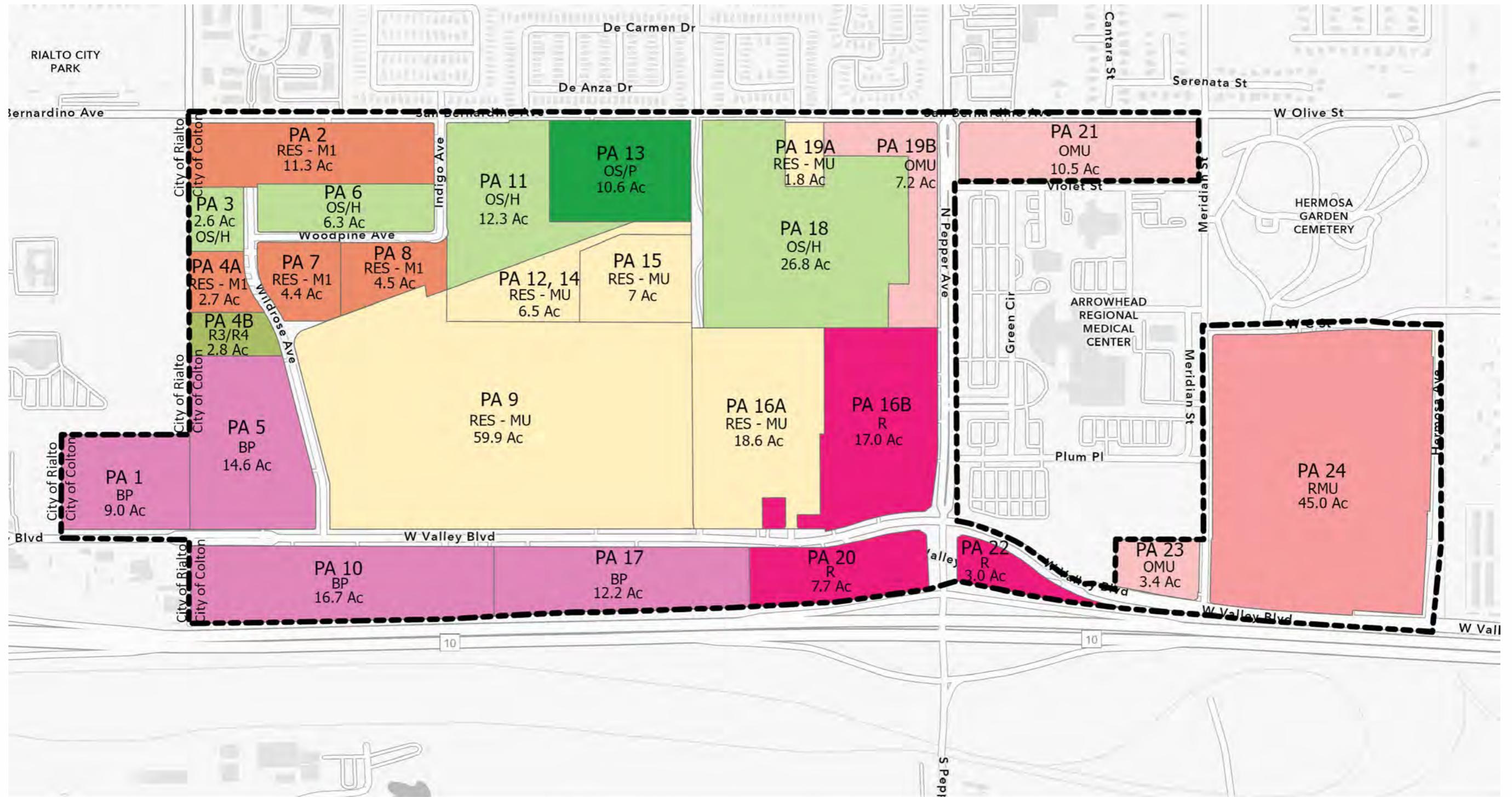
<b>Table 3.2 — Planning Area Summary</b>						
<b>PA#</b>	<b>Land Use</b>	<b>Designation</b>	<b>Acres *</b>	<b>Target density**</b>	<b>Target Dwelling Units**</b>	<b>Density Range (DU/AC)***</b>
1	Business Park	BP	9.0			
2	Res-Medium 1	RES-M1	11.3	11 DU/AC	118	5.1-14 DU/AC
3	Open Space/Habitat	OS/H	2.6			
4A	Res-Medium 1	RES-M1	2.7	11 DU/AC	30	5.1-14 DU/AC
4B	R3/R4	R3/R4	2.8	20 DU/AC	50	20-30 DU/AC
5	Business Park	BP	14.6			
6	Open Space/Habitat	OS/H	6.3			
7	Res-Medium 1	RES-M1	4.4	11 DU/AC	46	5.1-14 DU/AC
8	Res-Medium 1	RES-M1	4.5	11 DU/AC	49	5.1-14 DU/AC
9	Res-Mixed Use	RES-MU	59.9	24 DU/AC	1,425	20-40 DU/AC
10	Business Park	BP	16.7			
11	Open Space/Habitat	OS/H	12.3			
12	Res-Mixed Use	RES-MU	5.9	24 DU/AC	140	20-40 DU/AC
13	Open Space/Park	OS/P	10.6			
14	Res-Mixed Use	RES-MU	0.6	24 DU/AC	15	20-40 DU/AC
15	Res-Mixed Use	RES-MU	7.0	24 DU/AC	166	20-40 DU/AC
16A	Res-Mixed Use	RES-MU	18.6	24 DU/AC	387	20-40 DU/AC
16B	Retail	R	17.0			
17	Business Park	BP	12.2			
18	Open Space/Habitat	OS/H	26.8			
19A	Res-Mixed Use	RES-MU	1.8	24 DU/AC	43	20-40 DU/AC
19B	Office Mixed-Use	OMU	7.2			
20	Retail	R	7.7			
21	Office Mixed-Use	OMU	10.5			
22	Retail	R	3.0			
23	Office Mixed-Use	OMU	3.4			
24	Retail Mixed-Use	RMU	45.0			
	Major Street R.O.W's	N/A	48.8			
<b>Totals</b>			<b>373.2</b>		<b>2,469****</b>	

\*The acres of the individual planning areas are approximate. Precise boundaries and acreage will be established in conjunction with the tentative tract maps, parcel maps or other instruments with each development application. Minor boundary and acreage variations shall be permitted, subject to Section 7.3.9, Minor Modifications, without an amendment to the CHCCSP.

\*\*Refer to Section 7.3 and 7.3.6 for definitions of Target Density and Target Dwelling Units.

\*\*\*DU/AC - Dwelling units per acre

\*\*\*\*This total does not include live work dwelling units permitted in R and RMU land uses.



**Legend**

- |  |  |   |
|--|--|---|
| <span style="display:inline-block; width:15px; height:15px; background-color: #d9ead3; border: 1px solid black;"></span> BP Business Park          | <span style="display:inline-block; width:15px; height:15px; background-color: #55a868; border: 1px solid black;"></span> OS/P Open Space / Park          | <span style="display:inline-block; width:15px; height:15px; background-color: #fff2cc; border: 1px solid black;"></span> RES - MU Residential Mixed-Use |
| <span style="display:inline-block; width:15px; height:15px; background-color: #f4cccc; border: 1px solid black;"></span> OMU Office Mixed-Use      | <span style="display:inline-block; width:15px; height:15px; background-color: #e74c3c; border: 1px solid black;"></span> R Retail                        | <span style="display:inline-block; width:15px; height:15px; background-color: #f4cccc; border: 1px solid black;"></span> RMU Retail Mixed-Use           |
| <span style="display:inline-block; width:15px; height:15px; background-color: #d9ead3; border: 1px solid black;"></span> OS/H Open Space / Habitat | <span style="display:inline-block; width:15px; height:15px; background-color: #e67e22; border: 1px solid black;"></span> RES - M1 Residential Medium - 1 | <span style="display:inline-block; width:15px; height:15px; background-color: #a6c93a; border: 1px solid black;"></span> R3/R4                          |

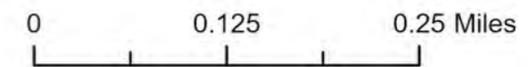


FIGURE 3-1  
LAND USE PLAN



Hub City Centre  
**CONCEPTUAL DESIGN**

- Mixed Use ■
- Retail ■
- Residential ■
- Live Work ■
- Civic Use ■
- Hospital ■
- Potential Hotel ■

## 3.1 Land Use Summary

### Retail (R)

In order to create a new shopping hub in the City of Colton, 27.6 acres has been designated for Commercial Retail (R) uses along the I-10 Freeway and Valley Boulevard corridor. The objective is to provide for development of a vibrant walk-able Village Shopping Center / Hub that includes entertainment and hospitality components, combined with department stores, large format national retail stores as well as small scale shops and services in a “Main Street” setting.

The Pepper Avenue / I-10 freeway interchange provides optimum freeway access and serves as the “front door” to the Retail uses. Major improvements scheduled for 2014 will add travel lanes and greatly improve the interchange.



### Office Mixed Use (OMU)

Office Mixed Use, with 21.1 acres, provides opportunities for corporate, executive, professional offices, banking, savings and loan institutions, medical facilities, laboratories, pharmacies, durable medical equipment sales and leasing. The three planning areas designated OMU are located along 6-lane major arterials north and south of the Arrowhead Regional Medical Center (ARMC).

The OMU designation provides for uses complementary to ARMC, e.g., opportunities for medical related offices, research and development, and services such as pharmacies, medical and equipment supplies. To promote other compatible uses, the land use designation includes flexibility to incorporate Business Parks and Retail.



COLTON'S HUB  
CITY CENTRE  
SPECIFIC PLAN

## Business Park (BP)

Business Park (BP) uses totaling 52.4 acres are located along the I-10 Freeway and Valley Boulevard corridors. With excellent freeway visibility, frontage and direct access along Valley Boulevard, this location is well suited to single and multi-tenant users, point of sale, flex space and incubator uses.



Retail Mixed Use (RMU)

Retail Mixed Use totaling 45.0 acres is located along the I-10 Freeway and Valley Boulevard corridors. With its location and visibility along major transportation corridors, it is conducive to a mix of retail, office and business uses. While retail is preferred as the primary land use, the RMU designation is intended to provide broad flexibility to respond to both the City’s vision and market needs of the region.



COLTON'S HUB  
CITY CENTRE  
SPECIFIC PLAN

### Residential Mixed-Use (RES-MU)

Residential Mixed-Use (RES-MU) uses total 93.8 acres and provides for housing, commercial, and office uses. The zone allows high density housing at 20 – 40 dwelling units per acre (du/ac). Stand-alone residential uses are allowed. Commercial, retail, and office uses are intended to encourage a mix of uses to serve the needs of local residents, employees, and visitors. Projects are encouraged to provide a mix of pedestrian-oriented housing and commercial uses. For mixed-use projects with residential uses, at least fifty percent (50%) of the floor area must be residential uses. The land use is located in portions of Planning Areas 9, 12, 14, 15, 16a, and 19a. Res-MU areas total 93.8 acres with a target density of 24 dwelling units per acre with a target of 2,176 dwelling units.



Multiple Family Residential (R-3/R-4)

The R-3 and R-4 Multiple-Family Zone with 2.8 acres is intended to accommodate multi-family housing and specifically housing development of a more intensive form, including condominiums, apartments, stacked flats, and senior housing. Higher densities are intended for specialized housing, such as senior housing at locations where adequate support infrastructure exists. This zone occupies the planning area 4b and has a target density of 20-30 DU/AC, resulting in a target of 50 units.



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## Residential Medium and Residential M1 (Res-M & Res-M1)

Residential Medium 1 (RES-M1) uses total 22.9 acres and provides for single-family and attached dwelling units. This land use provides opportunities for small lot single family detached homes, duplex / paired homes and attached townhomes. As is the case in the RES-M designation, this land use will also provide housing opportunities for the general area, future commercial and business uses and many professionals associated with the Arrowhead Regional Medical Center. Refer to Section 6.7 for the variety of home types planned in these two categories.

Within RES-M1 Planning Areas 7 and 8, higher densities are permitted for senior housing subject to a Conditional Use Permit as identified in Section 4.2.6.



### Open Space / Parks (OS/P)

Planning Area 13 is the site of an existing stormwater basin to accommodate flows from the north side of San Bernardino Avenue. This 9.4 acre site also doubles as a park. The site is improved with a wrought-iron fence and gate along San Bernardino Avenue, and chain link along the remaining three sides. The park includes playing fields in the basin, and a paved parking lot and concrete pads with picnic tables, outside the basin. Future improvements to this park would be governed by guidelines set forth in Section 6.0, Community Design Guidelines.

Improvements to the OS/P Planning Areas would be made to combine the three Planning Areas into a large park site, but still keeping the basin separate.



#### Open Space / Habitat (OS/H)

There are four planning areas, PA's 3, 6, 11 and 18, with preserved habitat in the northerly portion of the site comprising 48.1 acres. The location and total acres preserved was based on requirements of the U.S. Department of Fish and Wildlife. Access will be restricted to avoid disturbance to habitat areas. A habitat "land bridge in PA 14 has been provided to link the major habitat areas east and west of N. Eucalyptus Avenue.

#### Existing Development

Existing development within the Specific Plan boundaries is permitted to remain indefinitely. Any improvements to buildings and / or land will be subject to conditions provided under Non-Conforming uses in the General Provisions of Development Regulations, Section 4.0, and other City of Colton Title 18 Municipal Code requirements as applicable.



## 3.2 Other Major Components

### Circulation

The Circulation Plan in Section 5, Figure 5-1, identifies the primary roads in the Specific Plan boundary. The two major roads, Pepper Avenue, and Valley Boulevard and San Bernardino Avenue are each planned as 6-lane major arterials with a raised median. Except for San Bernardino Avenue and Meridian Avenue, a planned 4-lane collector road secondary arterials, all other roads are 2-lanes.

Special emphasis is placed on providing attractive and inviting streetscapes that encourage walking to and from all uses. Major arterial and interior roads will all include sidewalks, parkways and landscape medians. Refer to Section 5.0, Figure 5-3, Bike Plan and Sidewalk Master Plan and Section 6.0, Figures 6-378 and 6-39 for the Streetscape Master Plan.



# SECTION 4

## DEVELOPMENT REGULATIONS

### 4.0 Development Regulations

The following section sets forth Development Regulations for all land uses within the Colton's Hub City Centre Specific Plan (CHCCSP).

#### 4.1 General Provisions

The development regulations contained in this Section are set forth in accordance with the vision, goals and objectives of the CHCCSP. This section has been prepared in accordance with California Government Code Section 65450, et seq. and the City of Colton Zoning Ordinance, Title 18 of the Municipal Code.

These development regulations provide the basic criteria that govern all uses and development within the boundaries of the Specific Plan project area\*. Any regulation or standard of the City of Colton Zoning Ordinance not covered by the CHCCSP shall be applicable to this Specific Plan. Should there be a discrepancy between the development regulations and the City Zoning code the CHCCSP shall govern. Application of these regulations is intended to provide the most appropriate use of the land, to establish compatibility between land uses both adjacent to and within the Plan, and to protect the health, safety and general welfare of the community.

\*The Colton Joint Unified School District currently operates a school in Planning Area 24. As school districts are governed by the State of California, any school related uses are exempt from requirements of this document.

##### Planning Area Boundaries

The boundaries and acres of the individual planning areas shown on the Land Use Plan, Figure 3-1, are approximate. Precise boundaries and acreage will be established in conjunction with the tentative tract maps, parcel maps or other instruments with each development application. Minor boundary and acreage variations shall be permitted, subject to Section 7.3.9, Minor Modifications, without an amendment to the CHCCSP.

##### Non-Conforming Uses and Structures

Refer to Section 7.0 and the City of Colton Zoning Ordinance, Title 18, of the Municipal Code for treatment of non-conforming uses and structures within the CHCCSP.

##### Off-Street Parking And Loading

Except as specified in this document, parking and loading requirements shall be pursuant to the City of Colton Zoning Ordinance, Title 18 of the Municipal Code.

### Conditions, Covenants And Restrictions (CC&R's)

CC&Rs shall be provided to the City for review and approval upon submittal of an application for improvement plans and / or a final map, whichever comes first. Among other requirements, all CC&Rs shall establish recreational vehicle (RV) parking requirements on private streets, driveways and parking lots. Such CC&Rs shall at a minimum limit RV parking to no longer than seventy-two (72) hours on any private or public street, driveway or other location in a residential or commercial areas, unless such commercial area is specifically permits such use.

Any private streets or alleys on a development application shall include provisions to assure they are permanently reserved and maintained for their intended purpose by a means acceptable to and enforceable by the City of Colton.

### Severability

In the event that any regulation, condition, program, portion or policy of the CHCCSP or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of the CHCCSP or applications thereof which can be implemented without the invalid provision or application.

### Interpretation

Any ambiguities related to the implementation of the provisions of the CHCCSP shall be resolved by the City of Colton's Development Services Director or his/her designee. Such interpretations shall take into account the stated goals and intent of the CHCCSP. Any interpretation made by the Development Services Director may be appealed to the Planning Commission. The decision of the Planning Commission shall be final unless appealed to the City Council.

### Definitions

Unless otherwise specified herein, terms used in this document shall have the same definitions provided in the City of Colton Zoning Ordinance, "Definitions."

### Technology

Builders are urged to incorporate and make available the latest technological advances, such as fiber optics and expanded bandwidth and high-speed Internet connections.

### Community Design Guidelines

All buildings, landscape, site improvements, fixtures, exterior furnishings, lighting, and signage shall be designed and built in substantial conformance with the development regulations below and provided in Section 6.0, Community Design Guidelines.

---

## 4.2 Land Use Development Regulations

Development Regulations for each of the land uses included in the Colton's Hub City Centre Specific Plan (CHCCSP) are summarized below.

### 4.2.1 Retail (R)

This designation includes general retail, hospitality and entertainment uses. The intent is to create a vibrant commercial retail hub. In order to assure orderly development within each of the planning areas where Retail is a permitted use, a master plan is required to be submitted with each development review application. Refer to Section 7.0 for master plan submittal requirements.

#### Permitted Uses:

##### Hospitality

1. Hotel, Motel
2. Bed and Breakfast

##### Cultural and Religious

1. Religious Institution
2. Museum or Public Library

##### Eating/Drinking

1. Restaurant, Sit Down
2. Restaurant, Fast Food (Drive-thru)\*
3. Restaurant, Fast Food (No drive-thru)

\*Requires a conditional Use Permit within 300' of the northwest corner of Pepper Avenue and Valley Boulevard.

##### Governmental Educational

1. School – Private Day Care
2. Day Care
3. Municipal Uses including Fire or Police stations
4. Senior Center

##### Entertainment

1. Arcade, Game
2. Movie Theater
3. Park, public / private
4. Recreational Facility / Health Club
5. Swim Club
6. Tennis Club
7. Carnival / Circus\*

**General Commercial**

1. Book Stores
2. Convenience Store
3. Department Store
4. Food Courts
5. General and Specialized Retail
6. Newsstands
7. Art Galleries
8. Salons and Spas
9. Christmas Tree, Pumpkin Sales / Similar Seasonal Sales / Outdoor Events\*

**Service Commercial**

1. Banks and Savings and Loan Institutions
2. Offices, Administrative, Business, Medical and Professional Offices
3. Financial, Brokerage Offices, Credit Union, Loan Agencies
4. General: Computer repair, Locksmith Shop, Plumbing Shops
5. Mail, Shipping, Packaging Services
6. Optician Service and Optical Goods
7. Personal Services: Dry Cleaning, Laundry, Hair / Nail Salon, Day Spa, Tailor Shops

\*Refer to Colton Municipal Code for additional standards.

**Other**

Any other general or specialized retail or other use, including Live / Work Dwelling Units, not specifically identified as a conditionally permitted use, deemed compatible with other permitted uses by the Development Services Director or his / her designee.

**Accessory and Temporary Permitted Uses**

1. Utility Facilities
2. Automatic Teller Machines (ATMs)
3. Construction Trailers and Containers (Temporary)
4. Parking Lots
5. Sales Office (Temporary)
6. Signage in conformance with this Specific Plan
7. Utility structures and facilities related to the provision of public services such as electricity, sewer, water, telephone
8. Wireless Telecommunication Facilities that are camouflaged or fully integrated into the architecture of structures
9. Outdoor Event
10. Other accessory uses as determined by the Planning Commission to be substantially compatible with permitted uses

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Temporary uses shall be limited to reduce impacts on adjacent properties and uses as defined in the City of Colton Zoning Ordinance, Title 18 of the Municipal Code. Limitations may be imposed by the Development Services Director or his / her designee include, but are not limited to: Number of consecutive days of use / event, location, date and time, hours of operation, requirements for additional permits or clearances, advertising displays, use of sound systems, parking and security controls, provision of sanitary facilities, surety or cleaning deposits as deemed appropriate to ensure proper clean-up of site after temporary use is completed.

#### Conditionally Permitted Uses

1. Amphitheater
2. Antique or Second Hand Stores
3. Car Wash
4. Conference Center
5. Drinking Establishments that serve alcoholic beverages
6. Equipment Rental (Indoor Only)
7. Liquor Stores or Grocery Stores that sell alcohol
8. Lodge
9. New or Used Automobile Sales, Leasing and Rental
10. Night Clubs (Alcoholic beverages allowed)
11. Outdoor Storage
12. Outdoor Sales except nursery sales in association with retail store.
13. Parking Structures
14. Performing Arts Center
15. Restaurants and Cafes with Entertainment and / or Dancing (Alcoholic beverages allowed)
16. Restaurant- Fast Food within 300' of the northwest corner of Pepper Avenue and Valley Boulevard
17. Retail Nursery
18. Service and Gas Stations (Prohibited at northwest corner of Pepper Avenue and Valley Boulevard)
19. Vehicle Repair
20. Residential Care Facility (Large)
21. Assisted Living Facility (Large)
22. Single Room Occupancy Uses
23. Other conditionally permitted uses as determined by the Planning Commission to be substantially compatible with principal permitted uses

\* Refer to Colton Municipal Code for additional standards.

## Development Regulations

### Lot Requirements\*

1. Minimum Lot Size: One acre
2. Minimum Lot Width: One hundred thirty feet (130')
3. Minimum Lot Depth: One hundred thirty feet (130')
4. Maximum Lot Coverage: No maximum, subject to meeting all required building and parking setbacks and landscape requirements.\*\*
5. Floor Area Ratio (F.A.R.): Up to 1.0 FA. maximum. FARs greater than 1.0 requires a major variance.\*\*

Note: Master planned multi-tenant developments may have smaller lot requirements provided they share reciprocal facilities such as parking and access and provided it can be demonstrated that they comply with all the standards of this section. Also refer to Master Plan requirements above.

Minimum Building & Parking Setbacks*		Building	Parking***
1. Setback from Valley Blvd.:	Thirty-Five Feet (35')	Twenty-Five Feet (25')	Twenty-Five Feet (25')
(First 200' west of Pepper Ave R/W)			
2. Setback from Valley Blvd.:	Twenty-Five Feet (25')	Twenty-Five Feet (25')	Twenty Feet (20')
(Except First 200' west of Pepper Ave. R/W)			
3. Setback from Pepper Ave.:	Thirty-Five Feet (35')	Twenty-Five Feet (25')	Twenty-Five Feet (25')
(North of Valley Blvd. first 200' from R/W)			
4. Setback from Pepper Ave (north of Valley Blvd):	Twenty-Five Feet (25')	Twenty-Five Feet (25')	Twenty Feet (20')
(Except first 200' north of Valley Blvd. R/W.)			
5. Setback from Pepper Ave.:	Thirty-Five Feet (35')	Twenty-Five Feet (25')	Twenty-Five Feet (25')
(South of Valley Boulevard)			
6. Setback from other Public Roads:	Twenty Feet (20')	Twenty Feet (20')	Fifteen Feet (15')
7. Setback from Residential:	Twenty-Five Feet (25')	Twenty-Five Feet (25')	Fifteen Feet (15')
8. Setback from Open Space:	Ten Feet (10')	Ten Feet (10')	Fifteen Feet (15')
9. Building Separation Requirement:	Ten Feet (10')	Ten Feet (10')	N/A

\*All setback dimensions from the shortest dimension to the public right of way or property line.

\*\* Refer to Section 7.3.6 for maximum building square feet permitted based on traffic impacts.

\*\*\*Setbacks also apply to service alleys and drive aisles including those in drive- thru restaurants.

### Maximum Building Height

Buildings and other structures shall not exceed sixty feet (60') in height. Buildings exceeding that height are subject to a major variance.

Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height by ten feet (10'). Taller features are permitted for prominent architectural features subject to the approval through the City of Colton's Development Services Director.

### Parking and Circulation

- Except as provided herein, off-street parking within the CHCCSP area is required per the City of Colton Zoning Ordinance, Title 18 of the Municipal Code.

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**Parking:**

- Ten (10) spaces per 1,000 square feet for general restaurants.
- Thirteen (13) spaces per thousand square feet for fast food restaurants.
- Five (5) spaces per thousand for stores under 50,000 square feet.
- Four and one half (4.5) spaces per thousand for stores 50,000 square feet or larger.
- One (1) space per 4 seats for movie theaters plus fifteen (15) stalls for employees.

Compact parking is permitted for up to ten percent (10%) of the total number of required spaces. If provided, compact cars shall be distributed throughout the parking area and not concentrated in any one location.

In the event a retail center is proposed of 500,000 square feet or more of gross leaseable area in one development application, the above parking requirements may be reduced to approximately 4.5 spaces per 1,000 square feet on a blended average inclusive of all large and small stores, restaurants, movie theaters and other support uses. A parking demand study prepared by a traffic engineer shall be provided to support any change in the parking requirements above and shall require approval by the Planning Commission.

The Development Services Director or his / her designee shall have the authority to grant the joint use of parking facilities for two or more uses without the need for a variance. Joint or reciprocal use of parking facilities may only occur when the uses / parties sharing the parking demonstrate that there is not a significant overlap in demand, and that the total number of spaces is sufficient to meet the peak parking demand of any combination of simultaneous uses.

Pursuant to energy conservation and air quality goals promulgated by State and Federal agencies, whenever in the opinion of the Planning Commission, a retail use is designed to encourage and facilitate the internal circulation of public transit vehicles and the on-site, convenient and safe loading and unloading of passengers, a reduction in the number of parking spaces required by the Zoning Ordinance may be permitted upon Site approval by the Planning Commission without the need for a variance. Examples of facilities that may permit a justification a reduction in off-street parking include, but are not limited to the following: Omnitrans or other public transit with bus stops adjacent to or on-site; community tram / transit system, park and ride facilities, or facilities with disincentives to individual vehicle use.

Driveway aisle widths shall be in conformance with the City of Colton Zoning Ordinance, Title 18 of the Municipal Code.

Vehicular access from the retail site in Planning Area 16 to N. Eucalyptus Avenue shall be provided. Access may be through private streets or aisles. Assurances satisfactory to the City Engineer from the applicant will be required to assure such access remains permanent.

**Parking Stalls:** Whenever the computation of the number of off-street parking spaces required by this Section results in a fractional parking space, one additional

space shall be required for one-half or more fractional parking space and any fractional space less than one-half of a parking space shall not be counted.

Parking stalls perpendicular to the curb shall be 9 feet (9') x 19 feet (19') except for handicap spaces which shall meet ADA and City requirements. Compact spaces shall be a minimum of 8 feet (8') x 17 feet (17') and labeled compact stall in white painted letters on each stall.

#### **W**alls and **F**ences

1. All perimeter walls and fences shall be designed to be consistent with the CHCCSP Community Design Guidelines set forth herein.
2. Walls and fences constructed on perimeter lot lines shall not exceed six feet (6') in height. All walls along Eucalyptus or Street A shall be setback from the right of way a minimum of eight feet (8') to provide an area for landscape and screening.
3. All service, refuse and storage areas shall be screened with a decorative block wall in conformance with the Community Design Guidelines. Walls shall be a minimum of six feet (6') and a maximum of seven feet (7') in height. Refuse and storage areas visible from public streets or within shall include a minimum two feet (2') wide planting area including curb on all four sides, except where access is required for doors, gates, etc.
4. All types of chain link, barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for temporary security purposes. A time limit for temporary use shall be determined by the Development Services Director or his / her designee.

#### **L**ighting

1. Exterior lighting layout plans for parking and other site areas are required at the Site Plan Review stage that identifies the preliminary layout and type of fixture. If deemed appropriate, a plan that identifies the lighting foot-candles for any given area may be requested by the Development Services Director or his / her designee.
2. Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and / or upward, but not outward from the project area. Refer also to the Community Design Guidelines.

#### **M**echanical **E**quipment

All mechanical / electrical equipment such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust, shall be screened. Screening shall be provided as an integral aspect of the building design.

#### **L**andscape

1. All areas of the site not occupied by buildings, parking, service and storage areas, or otherwise utilized shall be fully landscaped in conformance with the Community Design Guidelines, Section 6.0, and as described below.

2. Separation. Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six inches (6") higher than the adjacent vehicular area.
3. All service, refuse and storage areas walls visible from the public shall be screened with plant materials. Vines shall also be required and shall not exceed seven feet (7') on center spacing along required screen walls, minimum five (5) gallon size within minimum eighteen inch (18") wide planting areas.
4. Parking area landscape requirements. The intent of providing landscaping in parking areas is to offer relief to the monotony of rows of parked cars and to create an attractive overhead shade canopy. Parking lot trees are required to be located a maximum of every four (4) stalls on average (approximately every 36') in cases where face-to-face parking stalls occur. Planting "pockets" within the parking lots shall be a minimum four feet (4') by four feet (4') clear and may be oriented on a diagonal. At ends of parking rows landscaped "islands" a minimum six feet (6') wide are required for the length of the parking stalls.
5. Along the perimeter of the site within building and parking setback areas, a minimum of one (1) tree per twenty five (25) linear feet of planting area is required. Trees may be grouped or spaced evenly.
6. All trees shall be fifteen (15) gallon minimum size. A minimum of twenty percent (20%) of all trees shall be twenty-four inch (24") box size and a minimum of five percent (5%) of all trees shall be thirty six inch (36") box size. These shall be in addition to those trees planted within the parking lot "islands" and planting "pockets", which shall be a minimum twenty-four inch (24") box size. Selected trees in parking lots shall be ones that at maturity form a shade canopy. If palm trees are provided in parking lots, they shall be feather and not fan palms, which provide a greater shade canopy.
7. Screening of parking lots adjacent to street rights-of-ways is required. Along the perimeter of all parking lots facing a public street or open space, the intent is to provide screening for the first three feet (3') above the highest point that exists on either the street right-of-way or parking lot. A hedge, berm, decorative masonry wall, or combination of any two may be provided. If a hedge is provided, it shall be a continuous row of plants five (5) gallon minimum size equally spaced not to exceed three and one half feet (3.5') on center. Hedges should be setback from curbs to allow overhangs of parked cars. If a berm is provided, it shall not exceed a maximum of 3:1 grade on either side of the berm.

#### 4.2.1 Retail Mixed Use (RMU)

RMU encourages greater diversity in retail areas with the goal of integrating office and point of sale business park uses. The intent is to expand the vitality of the commercial retail hub in PA's 16, 20 and 22.

**Permitted Uses:**

All provisions included in principal permitted uses, accessory permitted uses, and conditionally permitted uses within the Retail (R) and Office Mixed Use (OMU) are applicable to RMU. All development regulations of the respective land use shall apply, e.g., for any office use, all OMU development regulations apply, and for retail, hospitality and entertainment uses, all Retail (R) development standards shall apply. All uses permitted in Business Park (BP) shall also be permitted providing the business is a point of sale operation. A point of sale operation is defined as any business whose primary purpose is to sell merchandise, as opposed to operating principally to provide services and other functions. All BP development regulations shall apply for this land use.

In order to assure orderly development within each of the planning areas where RMU is a permitted use, a master plan is required to be submitted with each development review application. Refer to Section 7.0 for master plan submittal requirements.

**4.2.2 Business Park (BP)**

This designation includes a range of business related uses intended to complement retail, office and residential uses in the Plan. The regulations are intended to ensure compatibility with adjacent uses and the overall character of the CHCCSP project area. Maximum building floor areas have been defined to avoid “big box” warehousing and distribution uses in order to ensure that the scale of the new development will be compatible with other planned uses and to protect the health, safety and general welfare of the community.

For all uses, the maximum gross leasable area of a freestanding building, whether one or more users / tenants, shall not exceed fifty thousand (50,000) square feet.

**Permitted Uses:****Industrial Uses**

1. Light manufacturing plants and facilities
2. Assembly plants and facilities

General business uses including, but not limited to, the following:

1. Research laboratories and facilities
2. Product development facilities
3. Testing laboratories and facilities
4. Corporate headquarters and General Office

Service businesses including, but not limited to, the following:

1. Repair, maintenance or servicing of appliance, component parts
2. Tooling and small machine shops
3. Testing shops
4. Photo finishing and photographic processing facilities

5. Blueprinting, reproduction and copying services, photoengraving, printing, publishing and bookbinding
6. Dry cleaning and laundry plants
7. Wholesale Businesses
8. Municipal uses including water facilities, fire and police stations

### **O**ther

Any other general or specialized business park use not specifically identified as a conditionally permitted or prohibited use, deemed compatible with other permitted uses by the Development Services Director or his / her designee.

### **A**ccessory and **T**emporary **P**ermitted **U**ses

1. Construction Trailers and Containers (Temporary)
2. Parking Lots and Structures
3. Sales Office (Temporary)
4. Signage in conformance with this Specific Plan
5. Utility structures and facilities related to the provision of public services such as electricity, sewer, water, telephone
6. Other accessory uses as determined by the Planning Commission to be substantially compatible with principal permitted uses
7. Wireless Telecommunication Facilities that are camouflaged or fully integrated into the architecture of structures

Temporary uses shall be limited to reduce impacts on adjacent properties and uses as defined in the City of Colton Zoning Ordinance, Title 18 of the Municipal Code. Limitations may be imposed by the Development Services Director or his / her designee include, but are not limited to: Number of consecutive days of use / event, location, date and time, hours of operation, requirements for additional permits or clearances, advertising displays, use of sound systems, parking and security controls, provision of sanitary facilities, surety or cleaning deposits as deemed appropriate to ensure proper clean-up of site after temporary use is completed.

### **C**onditionally **P**ermitted **U**ses:

1. Service Stations
2. Retail uses included in the Retail (R) designation
3. Rental and sales agencies for garden and home equipment
4. Rental and sale agencies for agricultural, industrial and construction equipment
5. Sports Facilities
6. Parking Structures
7. Other conditionally permitted uses as determined by the Planning Commission to be substantially compatible with principal permitted uses



park use is designed to encourage and facilitate the internal circulation of public transit vehicles and the on-site, convenient and safe loading and unloading of passengers, a reduction in the number of parking spaces required by the Zoning Ordinance may be permitted upon site plan approval by the Planning Commission. Examples of facilities that may permit a justification a reduction in off-street parking include, but are not limited to the following: Omnitrans or other bus system with bus stops adjacent to or on-site; community tram / transit system, park and ride facilities, disincentives to individual vehicle use.

Driveway aisle widths are as required per the City of Colton Zoning Ordinance, Title 18 of the Municipal Code or as otherwise required by the City engineer.

Parking Stalls: Whenever the computation of the number of off-street parking spaces required by this Section results in a fractional parking space, one (1) additional space shall be required for one-half (.5) or more fractional parking space and any fractional space less than one-half (.5) of a parking space shall not be counted. Parking stall sizes shall be 9 feet (9') x 19 feet (19') except for handicap spaces which shall meet ADA and City requirements.

#### **W**alls and **F**ences

1. All perimeter walls and fences shall be designed to be consistent with Section 6.0, Community Design Guidelines and as set forth herein.
2. Walls and fences constructed on perimeter lot lines, shall not exceed eight feet (8') in height. However, a maximum of six feet (6') in height is permitted within ten feet (10') of any public road right-of-way.
3. All service, refuse and storage areas shall be screened with a decorative block wall in conformance with the Community Design Guidelines. Walls shall be a minimum of six feet (6') and a maximum of seven feet (7') in height. Refuse and storage areas visible from public streets or within shall include a minimum two feet (2') wide planting area including curb on all four (4) sides, except where access is required for doors and gates.
4. All types of chain link, barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for temporary security purposes. A time limit for temporary use shall be determined by the Development Services Director or his / her designee.

#### **L**ighting

1. Exterior lighting layout plans are required at the Design Review stage that identify the layout, intensity and type of fixture. If deemed appropriate, a plan that identifies the lighting foot-candles for any given area may be requested by the Development Services Director or his / her designee. Lighting plans shall be reviewed pursuant to the City of Colton Zoning Ordinance.
2. Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and / or upward, but not outward from the project area. Refer also to the Community Design Guidelines.

### Loading

All loading and maneuvering shall be performed on the site. Loading platforms and areas shall be screened from view from adjacent public streets and residential areas.

### Mechanical Equipment

All mechanical / electrical equipment such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust, shall be screened. Screening shall be provided as an integral aspect of the building design.

### Landscape

1. All areas of the site not occupied by buildings, parking, service and storage areas, or otherwise utilized shall be fully landscaped in conformance with the Community Design Guidelines Section 6.0 and as described below.
2. All service, refuse and storage area walls shall be screened with plant materials. Vines shall also be required and shall not exceed seven feet (7') on center spacing along required screen walls, minimum five (5) gallon size within minimum eighteen inch (18") wide planting areas.
3. Front, side and rear setback areas. All unpaved, non-work areas not utilized for parking or storage shall be landscaped.
4. Separation. Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six inches (6") higher than the adjacent vehicular area.
5. Parking area landscape requirements. The intent of providing landscaping in parking areas is to offer relief to the monotony of rows of parked cars, to create an overhead shade canopy and to create a campus atmosphere. Parking lot trees are required to be located a maximum every four (4) stalls on average (approximately every thirty-six feet (36') in cases where face-to-face parking stalls occur. Planting "pockets" within the parking lots shall be a minimum four feet (4') x four feet (4') clear plus curbs and may be turned on a diagonal. At ends of parking rows a minimum six feet (6') wide clear planting area is required for the length of the parking stalls, plus curbs.
6. Along the perimeter of the parking lot adjacent to the building (excluding loading dock and storage areas) and along the perimeter edge of the parking lot, landscape islands are required a minimum of every seven (7) stalls. These planting area "fingers" shall be a minimum six feet (6') wide clear width plus curbs for the length of the parking stall. Minimum tree sizes in all planting "fingers" and "pockets" shall be a twenty-four inch (24") box.
7. Adjacent to buildings where parking or drive aisles occur, a minimum of eight and one half feet (8.5') of clear planting area, (not including the curb width) shall occur, except if there are building entries, loading docks or garage doors. Areas between side by side garage doors also do not require landscape. Sidewalks, where provided, shall not encroach into the eight and one half feet (8.5') landscape area. Handicap sidewalks and ramps may

occur within the eight and one half feet (8.5'), not to exceed forty feet (40') in total length and five feet (5') in width, or the minimum width to meet ADA requirements. Vehicles shall be permitted to overhang landscaped areas adjacent to buildings providing either a low growing ground cover or turf is provided within two feet (2') of the curb face.

8. Adjacent to buildings, a minimum of one (1) tree per thirty (30) linear feet average of planting area is required. Along the planting areas within the perimeter of the site, a minimum of one (1) tree per twenty-five (25) linear feet average of planting area is required.
9. All trees shall be fifteen (15) gallon minimum size. A minimum of twenty percent (20%) of all trees shall be twenty-four inch (24") box size and a minimum of five percent (5%) of all trees shall be thirty six inch (36") box size. These shall be in addition to those trees planted within the parking lot "islands" and planting "pockets", which shall be a minimum twenty-four inch (24") box size. Selected trees in parking lots shall be ones that at maturity form a shade canopy. If palm trees are provided in parking lots, they shall be feather and not fan palms, which provide a greater shade canopy.
10. Screening of parking lots adjacent to streets is required. Along the perimeter of all parking lots facing a public street or open space, the intent is to provide screening for the first three feet (3') above the highest point that exists on either the street right-of-way or parking lot. A hedge, berm, decorative masonry wall, or combination of any two may be provided. If a hedge is provided, it shall be continuous row of plants (five gallon minimum size) equally spaced not to exceed three and one half feet (3.5') on center. Hedges should be setback from curbs to allow overhangs of parked cars. If a berm is provided, it shall not exceed a maximum of 3:1 grade on either side of the berm.

#### 4.2.3 Office Mixed Use (OMU)

The intent for the office designation is to provide for a broad range of administrative, executive, professional and medical uses.

##### Permitted Uses

1. Offices, Administrative, Executive, Business, Medical and Professional Offices
2. Medical complex including medical, dental, and health related services of all types for humans, including laboratories
3. Municipal Uses, including Fire or Police Stations
4. Telecommute Centers
5. Banks and Savings and Loan Institutions, Credit Companies
6. Oculists, opticians, optometrists, prescription pharmacies and durable medical equipment sales / rental, located in a building containing the office of four or more medical practitioners

## Other

Any office and administrative uses not specifically identified as a conditionally permitted or accessory permitted uses, deemed compatible with other permitted uses by the Planning Commission.

## Accessory Permitted Uses

1. Utility Facilities
2. Automatic Teller Machines (ATMs)
3. Construction Trailers and Containers (Temporary)
4. Parking Lots and Structures
5. Sales or Leasing Office (Temporary)
6. Signage in conformance with this document
7. Utility structures and facilities related to the provision of public services such as electricity, sewer, water, telephone
8. Wireless Telecommunication Facilities that are camouflaged or fully integrated into the architecture of structures
9. Other accessory uses as determined by the Planning Commission to be substantially compatible with principal permitted uses

Temporary uses shall be limited to reduce impacts on adjacent properties and uses as defined in the City of Colton Zoning Ordinance, Title 18 of the Municipal Code. Limitations may be imposed by the Development Services Director or his/her designee include, but are not limited to: Number of consecutive days of use/event, location, date and time, hours of operation, requirements for additional permits or clearances, advertising displays, use of sound systems, parking and security controls, provision of sanitary facilities, surety or cleaning deposits as deemed appropriate to ensure proper clean-up of site after temporary use is completed.

## Conditionally Permitted Uses

1. Retail (R)
2. Business Park (BP)
3. New or Used Vehicular Sales, Leasing and Rental
4. Medical, Dental and Health related Schools
5. Residential Care Facilities (Large)
6. Assisted Living Facilities (Large)
7. Vehicle Repair, Boats and Recreational Vehicles
8. Parking Structures
9. Other conditionally permitted uses as determined by the Planning Commission to be substantially compatible with principal permitted uses.



**Lot Requirements\***

1. Minimum Lot Size: .75 Acre
2. Minimum Lot Width: One hundred thirty feet (130')
3. Minimum Lot Depth: One hundred thirty feet (130')
4. Maximum Lot Coverage: No maximum, subject to meeting all required building and parking setbacks.\*\*
5. Floor Area Ratio (F.A.R.) No maximum, subject to meeting all required building and parking setbacks and landscape requirements.\*\*

**Minimum Building & Parking Setbacks\*      Building      Parking\*\*\***

- |  |                        |                    |
|--|------------------------|--------------------|
| 1. Setback from Valley Blvd. Pepper Blvd. or San Bernardino Ave. | Twenty-five Feet (25') | Fifteen Feet (15') |
| 2. Setback from Meridian Avenue.                                 | Fifteen Feet (15')     | Fifteen Feet (15') |
| 3. Setback from other Public Roads:                              | N/A                    | N/A                |
| 4. Setback from Property Line                                    | Fifteen Feet (15')     | Fifteen Feet (15') |
| 5. Building Separation Requirements:                             |                        |                    |
| One Story  | Fifteen Feet (15')     | N/A                |
| Two Story  | Twenty Feet (20')      | N/A                |
| Three Story or more  | Twenty-Five Feet (25') | N/A                |

\*All setback dimensions from the shortest dimension to the public right of way or property line.  
 \*\* Refer to Section 7.3.6 for maximum building square feet permitted based on traffic impacts.  
 \*\*\*Setbacks also apply to service alleys and drive aisles including those in drive- thru restaurants.

**Development Regulations**

**Maximum Building Height**

1. Buildings and other structures shall not exceed sixty feet (60') in height.
2. Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height by twenty feet (20'). Tower features exceeding this height are permitted for prominent architectural features subject to the approval through Colton's Development Services Director or his / her designee.

**Parking And Circulation**

1. General Office: one (1) space per two hundred fifty (250) square feet of gross floor area. Medical Office: one (1) space per two hundred (200) square feet of gross floor area Banks, Savings and Loans: one (1) space per two hundred (200) square feet of gross floor area.
2. The Development Services Director or his / her designee shall have the authority to grant the joint use of parking facilities for two or more uses without the need for a variance. Joint or reciprocal use of parking facilities may only occur when the uses / parties sharing the parking demonstrate that there is not a significant overlap in demand, and that the total number

of spaces is sufficient to meet the peak parking demand of any combination of simultaneous uses.

3. Pursuant to energy conservation and air quality goals promulgated by State and Federal agencies, whenever in the opinion of the Planning Commission, a business park use is designed to encourage and facilitate the internal circulation of public transit vehicles and the on-site, convenient and safe loading and unloading of passengers, a reduction in the number of parking spaces required by the Zoning Ordinance may be permitted upon Site approval by the Planning Commission. Examples of facilities that may permit a justification of a reduction in off-street parking include, but are not limited to the following: Omnitrans or other bus system with bus stops adjacent to or on-site; community tram / transit system, park and ride facilities, or other projects with disincentives to individual vehicle use.
4. Driveway aisle widths are as required per the City of Colton Zoning Ordinance, Title 18 of the Municipal Code.
5. Parking Stalls: Whenever the computation of the number of off-street parking spaces required by this Section results in a fractional parking space, one (1) additional space shall be required for one-half (.5) or more fractional parking space and any fractional space less than one-half (.5) of a parking space shall not be counted.

Parking stall sizes shall be 9 feet (9') x 19 feet (19') except for handicap spaces which shall meet ADA and City requirements.

#### **W**alls and **F**ences

1. All perimeter walls and fences shall be designed to be consistent with Section 6.0, Community Design Guidelines.
2. Walls and fences constructed on perimeter lot lines, or at the rear of the required landscape setback area, shall not exceed six feet (6') in height.
3. All service, refuse and storage areas shall be screened with a decorative block walls. Walls shall be a minimum of six feet (6') and a maximum of seven feet (7') in height. Refuse and storage areas visible from public view shall include a minimum one and one half feet (1.5') wide planting area including curb on all four (4) sides, except where access is required for doors, gates, etc.
4. All types of chain link, barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for temporary security purposes. A time limit for temporary use shall be determined by the Development Services Director or his / her designee.

#### **L**ighting

1. Exterior preliminary lighting plans are required at the Design Review stage that identify the layout, intensity and type of fixture. If deemed appropriate, a plan that identifies the lighting foot-candles for any given area may be requested by the Development Services Director or his / her designee.

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2. Lighting fixtures shall be properly shielded to prevent off-site glare. Refer to the Community Design Guidelines for additional standards.

#### LOADING

All loading and maneuvering shall be performed on the site. Loading platforms and areas shall be screened from view from adjacent public streets and residential areas.

#### Mechanical Equipment

All mechanical / electrical equipment such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust, shall be screened. Screening shall be provided as an integral aspect of the building design.

#### Landscape

1. All areas of the site not occupied by buildings, parking, service and storage areas, or otherwise utilized shall be fully landscaped in conformance with the Community Design Guidelines Section 6.0 and as described below.
2. All service, refuse and storage areas walls shall be screened with plant materials. Vines shall also be required and shall not exceed seven feet (7') on center spacing along required screen walls, minimum five (5) gallon size within minimum eighteen inch (18") wide planting areas.
3. Front, side and rear setback areas. All unpaved, non-work areas not utilized for parking or storage shall be landscaped.
4. Separation. Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six inches (6") higher than the adjacent vehicular area or in some manner shall be protected from vehicular damage subject to approval by the Development Services Director or his/her designee.
5. Parking area landscape requirements. The intent of providing landscaping in parking areas is to offer relief to the monotony of rows of parked cars, to create an overhead shade canopy and to create a campus atmosphere. Parking lot trees are required to be located a maximum of every four (4) stalls on average (approximately every 36') in cases where face-to-face parking stalls occur. Planting "pockets" within the parking lots shall be a minimum four feet (4') x four feet (4') clear plus curbs and may be turned on a diagonal. At ends of parking rows a minimum six feet (6') wide clear planting area is required for the length of the parking stalls, plus curbs.
6. Along the perimeter of the parking lot adjacent to the building (excluding loading dock and storage areas) and along the perimeter edge of the parking lot, landscape islands are required a minimum of every seven (7) stalls. These planting area "fingers" shall be a minimum six feet (6') wide clear width plus curbs for the length of the parking stall. Minimum tree sizes in all planting "fingers" and "pockets" shall be a twenty-four inch (24") box.
7. Adjacent to buildings where parking or drive aisles occur, a minimum of eight and one half feet (8.5') of clear planting area, (not including the curb

width) shall occur, except if there are building entries, loading docks or garage doors. Areas between side by side garage doors also do not require landscape. Sidewalks, where provided, shall not encroach into the eight and one half feet (8.5') landscape area. Handicap sidewalks and ramps may occur within the eight and one half feet (8.5'), not to exceed forty feet (40') in total length and five feet (5') in width, or the minimum width to meet ADA requirements. Vehicles shall be permitted to overhang landscaped areas adjacent to buildings providing either a low growing ground cover or turf is provided within two feet (2') of the curb face.

8. Adjacent to buildings, a minimum of one (1) tree per thirty (30) linear feet average of planting area is required. Along the planting areas within the perimeter of the site, a minimum of one (1) tree per twenty-five (25) linear feet average of planting area is required.
9. All trees shall be fifteen (15) gallon minimum size. A minimum of twenty percent (20%) of all trees shall be twenty-four inch (24") box size and a minimum of five percent (5%) of all trees shall be thirty six inch (36") box size. These shall be in addition to those trees planted within the parking lot "islands" and planting "pockets", which shall be a minimum twenty-four inch (24") box size. Selected trees in parking lots shall be ones that at maturity form a shade canopy. If palm trees are provided in parking lots, they shall be feather and not fan palms, which provide a greater shade canopy.
10. Screening of parking lots adjacent to streets is required. Along the perimeter of all parking lots facing a public street right-of-way or open space, the intent is to provide screening for the first three feet (3') above the highest point that exists on either the street right-of-way or parking lot. A hedge, berm, decorative masonry wall, or combination of any two may be provided. If a hedge is provided, it shall be continuous row of plants (five-gallon minimum size) equally spaced not to exceed three and one half feet (3.5') on center. Hedges should be setback from curbs to allow overhangs of parked cars. If a berm is provided, it shall not exceed a maximum of 3:1 grade on either side of the berm.

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## Residential Development Regulations

### 4.2.5 Residential Medium1 (Res-M1)

The housing types for this land use category, located in Planning Areas 2, 4, 7, 8 and 15, permits single-family detached homes, patio homes, courtyard homes and single family attached homes. RES-M1 areas total 32.7 acres with a target density of 11 dwelling units per acre with 360 target dwelling units.

#### Permitted Uses

1. Single-family detached homes and attached homes\*
2. Private parks and clubhouse buildings
3. Residential Care Facilities (Six or fewer residents)
4. Dwelling Unit, Second
5. Transitional and Supportive Housing
6. Assisted Living Facilities (Six or fewer residents)

\*Condominium and / or fee simple ownership is permitted for detached or attached homes. All common area landscape, paving in alleys, private streets or motor courtyards, including other private common areas in any parcel, shall be included and maintained within a homeowners association.

The following pertains to both RES-M and RES-M1 uses. Refer to Section 7.0, Administration, for a description of target density and target dwelling units.

#### Accessory and Temporary Permitted Uses

1. Parking areas.
2. Home occupations in accordance with City of Colton development code.
3. Private park and recreation facilities, community center buildings.
4. Patios and patio covers.
5. Swimming pools, spas, sports courts, and other similar outdoor recreational facilities.
6. Monument signage and walls consistent with the Specific Plan design guidelines herein.
7. Temporary uses such as model homes, sales offices, and subdivision sales trailers, temporary construction offices and facilities, real estate signs.

Other accessory uses as determined by the Development Services Director or his / her designee to be substantially compatible with principal permitted residential use.

8. Utility buildings, facilities and structures related to the provisions of public services such as sewer, water, electricity and telephone. Cell towers are subject to approval from the City of Colton Planning Commission.
9. Satellite dishes and / or antennas shall be permitted pursuant to the City of Colton development code.
10. Other accessory uses as determined by the Planning Commission to be substantially compatible with principal permitted uses

### Conditionally Permitted Uses

1. Attached homes that include stacked flats i.e., two separate dwelling units on different floors in the same building.
2. Senior Housing with densities not to exceed 30 dwelling units per acre.
3. Other uses as determined by the Development Services Director or his / her designee to be substantially compatible with principal permitted uses.

### Development Regulations

Refer also to Tables 4-A and 4-B for development regulations and standards.

### Parking and Circulation

1. Except as specified in these Development Regulations, parking within the CHCCSP project area shall be pursuant to the City of Colton Zoning Ordinance, Title 18 of the Municipal Code.
2. Parking requirements may be met on local interior streets. Parallel parking stall dimensions shall be a minimum eight feet (8') by twenty two feet (22'). The first stall measured from a curb return shall be no less than seven feet (7') from the tangent (beginning point of curb radius).

### Walls and Fences

1. All walls and fences shall be designed to be consistent with the CHCCSP Community Design Guidelines set forth in Section 6.0. No wood fences are permitted within the CHCCSP Project area, except for use as access gates in residential areas.
2. Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback areas shall not exceed six feet (6') in height unless required by an acoustical study.
3. All privacy walls greater than three feet (3') in height between two buildings facing a street shall be located behind the front of the structure by a minimum of four feet (4').
4. All refuse and storage areas shall be screened with a decorative block wall that consists of split-face, slump-stone block, or a stucco finish.
5. All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes. A time limit for temporary use shall be determined by the Development Services Director or his / her designee.

### Lighting

1. Exterior lighting plans are required for each project development application to identify the preliminary layout and type of fixture and pole. Refer to Section 6.0, Community Design Guidelines, for additional lighting standards.
2. Lighting fixtures shall be properly shielded to prevent off-site glare.

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### Minimum Open Space and Landscape

1. Private Open Space: A minimum of one hundred (100) square feet of private open space shall be provided for each dwelling unit. Private open space may include ground floor patios or courtyards with a minimum seven feet (7') x ten feet (10') dimension for a ground floor area, and second and third floor balconies or decks, and rooftop decks that are accessible.
2. Common Open Space: All residential uses shall have a minimum of fifteen percent (15%) common area landscape coverage of the project site in addition to landscaped parkways within the street right-of-way and any landscape areas for private use by a resident in an enclosed yard, courtyard or patio.
3. All landscape areas to conform to the Community Design Guidelines and Plant Palette in Section 6.0.

### Mechanical Equipment

All exterior mechanical / electrical equipment such as, but not limited to air conditioning units and above ground electrical equipment, shall be screened. Screening shall be provided with landscape and / or decorative walls.

**TABLE 4-A DEVELOPMENT REGULATIONS AND STANDARDS  
RES-M1 DETACHED HOMES**

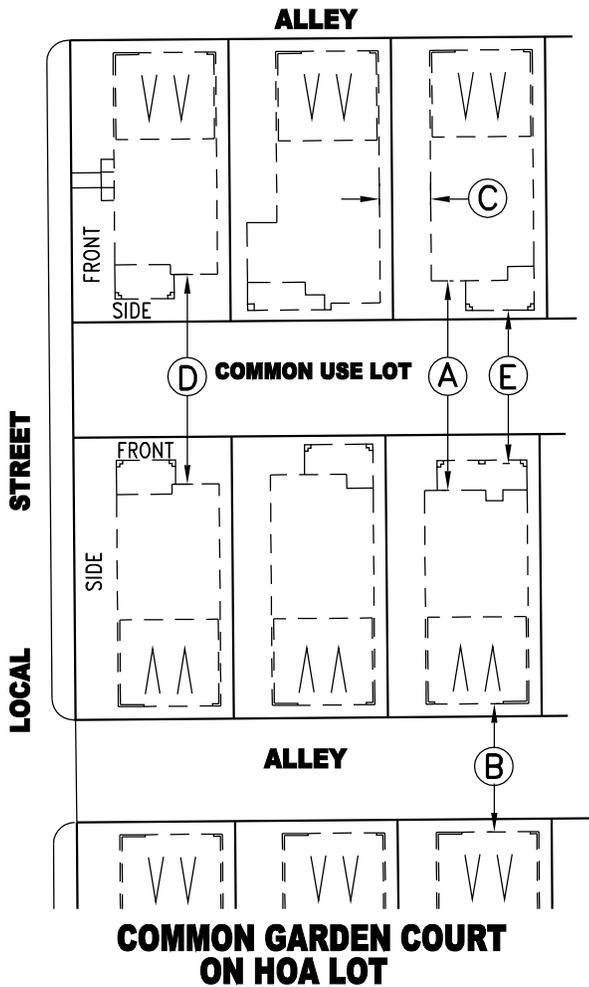
	Detached (Garden Court)	Detached (Cluster)	Detached (Motor Court)
<b>Lot Requirements:</b>			
• Minimum Lot Size (Square Feet) per Dwelling Unit	2,000	2,000	2,000
• Minimum Lot Width:	30'	N/A	N/A
• Minimum Lot Width at Corner	35'	N/A	N/A
• Minimum Lot Depth	55'	N/A	N/A
• Minimum Dwelling Unit Size	1,100 s.f.	1,100 s.f.	1,100 s.f.
<b>Minimum Setbacks: (From R/W or Prop. Line)</b>			
<b>Front Building Setbacks:</b>			
• Local Streets			
1 Story	9'	9'	9'
2 Story	10'	10'	10'
3 Story	12'	12'	12'
• Street A and N. Eucalyptus Ave (Add 3' to each setback above)			
• Greenbelts, Courtyards and Parks	1'	1'	1'
• Single Story Porch or Balcony			
Street A and N. Eucalyptus Ave.	7'	7'	7'
All Other Streets	5'	5'	5'
Greenbelts, Courtyards and Parks	1'	1'	1'
<b>Side Building Setbacks:</b>			
• Interior Property Line	3'	3'	3'
Residential Street (corner lot)			
• 1 Story	8'	8'	8'
• 2 or 3 Story	10'	10'	10'
• Open Single Story Porch or Balcony (corner lot)	8'	8'	8'
<b>Rear Building Setbacks:</b>			
• Primary Building - Alleyway (See Note 11)	3'	3'	3'
• Garage Face to Alley (Drive Apron)	3'	3'	3'
• Open Patio Cover	3'	3'	3'
<b>Lot Coverage:</b>			
• Maximum Coverage	70%	70%	70%
<b>Maximum Building Height:</b>			
• Primary Structures	35'	35'	35'
<b>Minimum Building Separation: (see Note 16)</b> (See Figure 4-1)			
• Front to Front			
1 Story to 1 Story	20'	12'	
2 Story to 2 or 3 Story	20'	15'	
3+ Story	28'	16'	
• Rear to Rear	(w / Alley)	(w / Alley)	Non-Alley
1 Story to 1 Story (See Note 11)	28'/30'	28'/30'	8'
2 Story to 2 Story (See Note 11)	28'/30'	28'/30'	8'
3 Story to 2 or 3 Story	See Note 11	30'	10'
• Side to Side			
1 Story to 1 Story	6'	6'	6'
2 Story to 2 Story	6'	6'	6'
3+ Story to 2 or 3+ Story (*12' if no entries to units between buildings)	15'*	15'*	15'*
• Front to Side			
1 Story to 1 Story	12'	6'	6'
2 Story to 2 Story	15'	7'	7'
3+ Story to 2 or 3+ Story	15'	10'	10'
<b>Minimum Porch and Balcony Separations</b>			
• Front to Front (All stories)	15'	10'	10'
<b>Walls and Fences:</b>			
• Max. Height within Building Setback	4'	4'	4'
• Maximum Height other Locations:	6'	6'	6'
<b>Parking:</b>			
• Minimum Resident Parking in Garage	2 spaces	2 spaces	2 spaces
• Minimum Guest Parking	.3/DU	.3/DU	.3/DU

**TABLE 4-B DEVELOPMENT REGULATIONS AND STANDARDS  
RES-M1 ATTACHED HOMES**

<b>Lot Requirements:</b>	<b>Single Family Attached</b>
• Minimum Parcel Size:	4,000 square feet
• Minimum Parcel Width	50'
• Minimum Parcel Depth	60'
<b>Minimum Setbacks (From ultimate R.O.W or PL)</b>	
<b>Front Building Setbacks<sup>2</sup>:</b>	
Primary Structure	
Public Streets or Property Line	
1 Story	9'
2 Story	10'
3 Story	12'
• Street A (Add 3' to each setback above)	
• Greenbelts, Courtyards, and Parks	1'
<b>Open Porch (Single story)</b>	
• Street A	7
• Other Public Streets or Property Line	5
• Greenbelts, Courtyards, and Parks	1'
<b>Side Building Setbacks</b>	
• Exterior property line	10'
• 1 Story (Corner Lot)	8'
• 2 to 3 Story (Corner Lot)	10'
• Open porch or balcony (Corner Lot)	8'
<b>Rear Building Setbacks</b>	
• Primary building, from Alley Lane	3'
• Garage Face to Alley	3'
• Open Patio Cover or Trellis	3'
<b>Lot Coverage:</b>	
• Maximum Coverage	70%
<b>Maximum Building Height:</b>	
• Primary Structures	35'
• Accessory Structures	1 story or 10' below building height of primary structure.
<b>Minimum Building Separation: (See Note 16)</b>	
• Front to Front	
1 Story to 1 Story	20'
2 Story to 1 or 2 Story	25' (25% of a building may be 20')
3+ Story to 2 to 3+ Story	30' (20% of a building may be 25')
• Rear to Rear (Alley way – See Note 11)	
1 Story to 1 Story	28'
2 Story to 1 or 2 Story	28'
3+ Story to 2 to 3+ Story	See Note 11
• Side to Side	
1 Story to 1 Story	8'
2 Story to 1 or 2 Story	10'
3+ Story to 2 to 3+ Story	15' (12' if no side entry)
• Front to Side	
1 Story to 1 Story	10'
2 Story to 1 or 2 Story	15'
3+ Story to 2 to 3+ Story	15'
<b>Walls and Fences:</b>	
• Max. Height in building setback area.	3'
• Maximum height other locations:	6'
<b>Parking:</b>	
• Minimum Resident Parking	1 enclosed space on a garage for 1 bedroom or smaller; 2 enclosed spaces in a garage for a 2 bedroom or larger.
• Minimum Guest Parking	1 space for each 3 units. Public or private on street parking may be counted toward guest requirements.

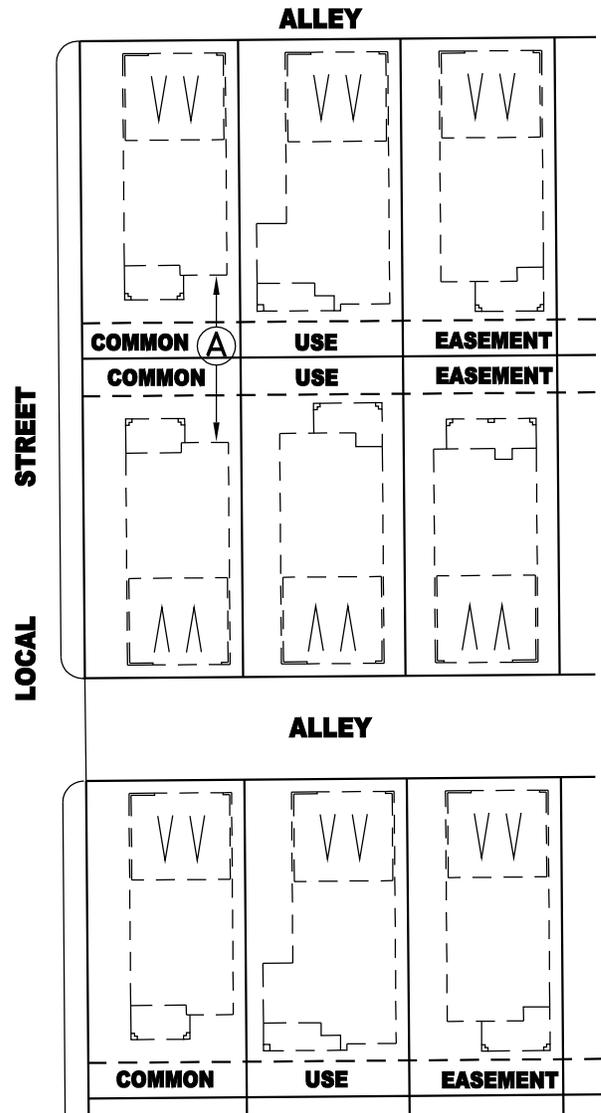
## Notes to Tables 4-A and 4-B:

1. All building setbacks are measured from the street rights-of-ways shown in street sections or from the ultimate property line
2. Setbacks along private streets shall be measured from back of sidewalk. If no sidewalk, then from face of curb.
3. Minimum parcel widths shall be measured at the front setback line.
4. For building setbacks and building separations, the minimum dimensions shown in the regulations pertains to the main building structure and not to architectural projections, balconies, porches or patio walls and gates.
5. Architectural projections may project a maximum of three feet (3') into required front, rear or side setback areas, however in all cases there shall be a minimum clearance of four feet (4') to an opposing projection, including a building, wall or fence. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, and other similar elements.
6. Balconies, open covered porches, patio walls and gates are permitted to project into the setbacks and building separations as indicated in the development regulations or as otherwise specified in this document.
7. The minimum depth of an open covered porch shall be five feet (5'). Clearance between opposing porches or balconies shall be fifteen feet (15') in front to front building orientations, ten feet (10') other conditions.
8. Side yard slopes of 2:1 or greater shall not encroach more than fifty percent (50%) into yard setback areas.
9. Shared use easements are permitted.
10. Recreational vehicle (RV) parking is prohibited for more than seventy-two (72) hours on residential streets.
11. Alley widths for 2-story or less buildings: Where greater than ten (10) dwelling units, shall include a thirty feet (30') minimum dimension between buildings, with minimum twenty feet wide (20') travel lanes and three feet (3') minimum driveway apron or landscape. Alleys with ten (10) dwelling units or fewer, and that do not to exceed one hundred fifty feet (150') of alley length may be a minimum of twenty-eight feet (28') minimum between buildings, with a minimum twenty feet (20') lane and three feet (3') minimum driveway aprons or landscape. Buildings 3-story or greater shall be subject to City of Colton Fire Department approval.
12. Building articulation is required on rear building elevations along alleyways.
13. Along a side yard adjacent to an alley, there shall be a minimum of two feet (2') of planting area where a wall or fence is adjacent to an alley curb or sidewalk, whichever is closer to the wall or fence.
14. Wall and Fence measurements: The height of a wall or fence shall be measured from the highest ground level on either side of the wall or fence. In order to allow for variation in topography, the height of a wall or fence may vary in an amount not to exceed eight inches (8") provided that in no event shall the average height of the wall or fence exceed the maximum height permitted.
15. For each of the three housing types plan configurations listed in Table 4-A, refer to Figures 6-26 through 6-30. For detached or attached homes that do not clearly fit into any of the categories in Table 4-A or Table 4-B, the Development Services Director or his / her designee shall determine which development regulations from above shall apply.
16. Building separations can be satisfied through any combination of lot setbacks (on private lots). Common lot areas (on HOA lots) or common use easements (on private lots). See Figure 4-1.



**PRIMARY BUILDING SEPARATIONS**

- (A) Front to Front  
 20' - 1 Story to 1 Story  
 20' - 2 Story to 2 or 3 Story  
 28' - 3 story to 3+ Story
- (B) Rear to Rear (see note 11)  
 28'/30' - 1 Story to 1 Story  
 28'/30' - 2 Story to 2 or 3 Story  
 Note 11 - 3 Story to 3+ Story
- (C) Side to Side  
 6' - 1 Story to 1 Story  
 6' - 2 Story to 2 Story  
 15' - 3+ Story to 2 or 3+ Story
- (D) Front to Side  
 12' - 1 Story to 1 Story  
 15' - 2 Story to 2 Story  
 15' - 3+ Story to 2 or 3+ Story



**COMMON USE EASEMENT ON PRIVATE LOTS**

**PORCH & BALCONY SEPARATIONS**

- (E) Front to Front  
 15' - All Stories to All Stories
- See Note 16 to Tables 4A & 4B  
 Building Separations can be satisfied through a combination of lot setbacks (on private lots), Common Lot Areas (on HOA Lots) or Common Use Easements (on Private Lots)

FIGURE 4-1  
 SEPARATIONS for GARDEN COURT RES-M1 DETACHED HOMES



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## 4.2.6 Residential Mixed Use (Res-MU)

The Res-MU zone is intended to allow a mix of housing with commercial and office uses. The zone allows high density housing at 20 – 40 dwelling units per acre (du/ac). Stand-alone residential uses are allowed. Commercial, retail, and office uses are intended to encourage a mix of uses to serve the needs of local residents, employees, and visitors. Projects are encouraged to provide a mix of pedestrian-oriented housing and commercial uses. For mixed-use projects with residential uses, at least fifty percent (50%) of the floor area must be residential uses. The land use is located in portions of Planning Areas 9, 12, 14, 15, 16a, and 19a. Res-MU areas total 94 acres with a target density of 24 dwelling units per acre with a target of 2,176 dwelling units.

### Permitted Uses

#### Residential

1. Multiple-family dwellings, including Senior Housing
2. Live/Work Units
3. Residential Care Facilities (both small and large)
4. Assisted Living Facilities (both small and large)
5. Dwelling Unit, Second (ADUs)
6. Transitional and Supportive Housing
7. Single Room Occupancy Uses

#### Hospitality

1. Hotel, Motel
2. Bed and Breakfast

#### Cultural and Religious

1. Religious Institution
2. Museum or Public Library

#### Eating/Drinking

1. Restaurants, cafes, coffee shops, and other specialized food and beverage service establishments

#### Governmental/Educational

1. School – Private Day Care
2. Day Care
3. Municipal Uses including Fire or Police stations
4. Senior Center

#### Entertainment

1. Arcade, Game
2. Theaters, including Movie Theater

3. Park, public / private
4. Recreational Facility / Health Club

#### General Commercial

1. Art Galleries
2. Book Stores
3. Convenience Store
4. General and Specialized Retail
5. Grocery Store
6. Newsstands

#### Service Commercial

1. Banks and Savings and Loan Institutions
2. Financial, Brokerage Offices, Credit Union, Loan Agencies
3. General: Computer repair, Locksmith Shop, Plumbing Shops
4. Mail, Shipping, Packaging Services
5. Medical Offices and Retail including medical, optical, dental, prescription pharmacies, and mental health services
6. Offices, Administrative, Business, Medical and Professional Offices
7. Personal Services: Dry Cleaning, Laundry, Hair / Nail Salon, Day Spa, Tailor Shops
8. Pet Care (Small Animals): Boarding, Grooming, Veterinary Services

#### Other

Any other general or specialized residential or retail or other use not specifically identified as a conditionally permitted use, deemed compatible with other permitted uses by the Development Services Director or his / her designee.

#### Accessory and Temporary Permitted Uses

1. Automatic Teller Machines (ATMs)
2. Christmas Tree, Pumpkin Sales / Similar Seasonal Sales / Outdoor Events\*
3. Construction Trailers and Containers (Temporary)
4. Home occupations in accordance with City of Colton development code
5. Monument signage and walls consistent with the Specific Plan design guidelines herein
6. Outdoor dining in rights of way directly adjacent and accessory to an approved restaurant use.
7. Outdoor Events, in accordance with City of Colton Special Events Permit requirements
8. Parking Lots
9. Patios and patio covers
10. Private park and recreation facilities, community center buildings
11. Private parks and clubhouse buildings

12. Satellite dishes and / or antennas shall be permitted pursuant to the City of Colton development code.
13. Swimming pools, spas, sports courts, and other similar outdoor recreational facilities
14. Temporary uses such as model homes, sales offices, and subdivision sales trailers, temporary construction offices and facilities, and real estate signs.
15. Utility buildings, structures, and facilities related to the provision of public services such as electricity, sewer, water, and telephone. Cell towers are subject to approval from the City of Colton Planning Commission
16. Utility Facilities
17. Wireless Telecommunication Facilities that are camouflaged or fully integrated into the architecture of structures
18. Other accessory uses as determined by the Planning Commission to be substantially compatible with principal permitted uses

#### **Conditionally Permitted Uses**

1. Amphitheater
2. Car Wash
3. Conference Center
4. Drinking Establishments that serve alcoholic beverages
5. Educational Institution
6. Equipment Rental (Indoor Only)
7. Liquor Stores or Grocery Stores that sell alcohol
8. Lodge or Private Club
9. New or Used Automobile Sales, Leasing and Rental (Indoor Only)
10. Night Clubs (Alcoholic beverages allowed)
11. Parking Structures
12. Performing Arts Center
13. Restaurants and Cafes with Entertainment and / or Dancing (Alcoholic beverages allowed)
14. Vehicle Repair (Indoor Only)
15. Other conditionally permitted uses as determined by the Planning Commission to be substantially compatible with principal permitted uses

\* Refer to Colton Municipal Code for additional standards.

#### **Development Regulations**

Refer also to Table 4-D for development regulations and standards. Objective design standards are provided in Chapter 6.

**Lot Requirements\***

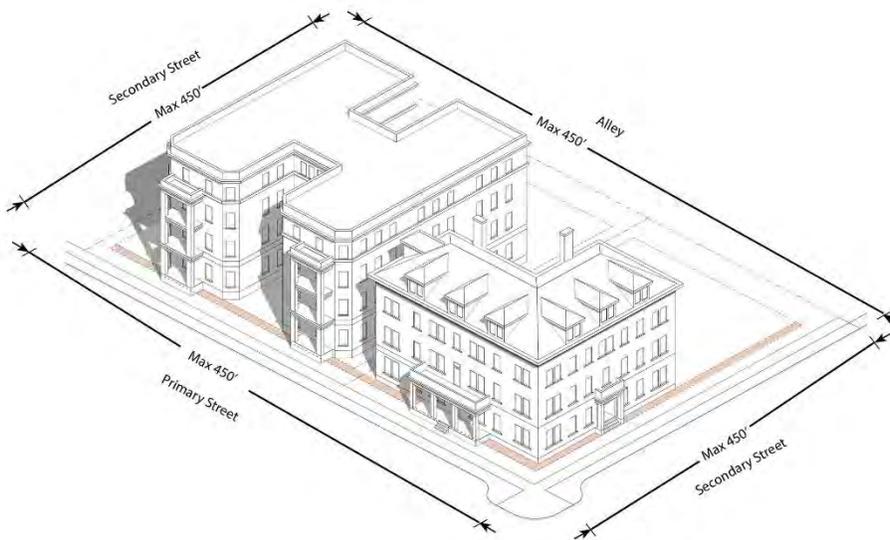
1. Minimum Lot Size: Two thousand square feet (2,000')
2. Minimum Lot Width: Twenty-five feet (25')
3. Minimum Lot Depth: Fifty feet (50')
4. Maximum Lot Coverage: 80%

**FAR and Density Standards**

1. Floor Area Ratio (FAR) Up to 2.0 FAR maximum (all uses)
2. Allowed Residential Density 20 – 40 dwelling units per acre

**Maximum Block Size**

Large sites greater than five (5) acres shall be subdivided to create blocks. Block perimeters shall have a maximum of fourteen hundred feet (1,400'), as measured around the combination of each block face along the primary or secondary street alley. The maximum dimension of each block face shall be no more than four hundred fifty feet (450').

**Maximum Building Height**

Buildings and other structures shall not exceed sixty feet (60') in height. Buildings exceeding that height are subject to a major variance.

Special architectural features such as towers, cupolas, chimneys, and other architectural projections may exceed the maximum building height by ten feet (10'). Taller features are permitted for prominent architectural features subject to the approval by the City of Colton's Development Services Director.

**Minimum Open Space and Landscape**

All Res-MU residential developments shall provide private open space and common open space as follows.



1. **Private Open Space.** Private open space shall be provided for each unit as follows. Private open space may be provided in the form of patios, porches, balconies, or recessed areas open on at least one side.
  - a. A minimum of one hundred (100) square feet of private open space per unit, with a minimum dimension of ten feet (10') on the ground floor.
  - b. A minimum of fifty (50) square feet of private open space shall be provided for every four (4) units on any floors above the ground floor.
  - c. For SROs, Senior Housing, Residential Care Facilities, and Transitional and Support Housing uses, up to fifty percent (50%) of the required private open space can be provided through as common residential open space.
  - d. Subject to approval by the Development Services Director, common open space may be substituted for private open space at a ratio of 1.5:1.
    - i. For example, one hundred fifty (150) square feet of improved common open space per unit may be substituted for the one hundred (100) square feet of required provided open space. For example, seventy five (75) square feet of common open space per unit can be substituted for fifty (50) square feet of private open space.
2. **Common Open Space.** Common residential open space shall be provided at a minimum of twenty-five (25) square feet per unit. Common residential open space areas shall have a minimum dimension of ten feet (10'). Common areas on building rooftops that are furnished with recreational amenities, landscaping, and shade structures can satisfy up to fifty percent (50%) of the common residential open space requirement.
  - a. **Shared Common Open Space.** When common open space is designed for shared public / private use, the minimum requirement for common residential open space shall be reduced to twenty (20) square feet per unit. These common residential open space areas may be provided in the form of pools, playgrounds, recreation fields, or recreation buildings, but no less than fifty percent (50%) of the common residential open space area shall be outdoor, landscaped common residential open space.
3. Sidewalk connections shall be provided from homes to public sidewalks, and between homes and residential open space.
4. All landscape areas shall conform to the Community Design Guidelines and Plant Palette that are located in Section 6.0 of this document.

#### Parking and Circulation

1. Except as specified in these development regulations, parking in the CHCCSP project area shall be pursuant to the City of Colton Zoning Ordinance, Title 18 of the Municipal Code.

The following parking shall be provided for residential uses:

- One (1) space for studio or 1-bedroom units.
- One and a half (1.5) spaces for 2+ bedroom units.
- Guest parking at a rate of one (1) space for each six (6) units. Public or private on-street parking may be counted toward guest requirements.

The following parking shall be provided for commercial uses:

1. One (1) space per 500 square feet of commercial space.
2. Parking requirements may be met on local interior streets. Parallel parking stall dimensions shall be a minimum eight feet (8') by twenty-two feet (22'). The first stall measured from a curb return shall be no less than seven feet (7') from the tangent (beginning point of curb radius).
3. A parking demand study prepared by a traffic engineer shall be provided to support any change in the parking requirements above and shall require approval by the Planning Commission.
4. The Development Services Director or his / her designee shall have the authority to grant the joint use of parking facilities for two or more uses without the need for a variance. Joint or reciprocal use of parking facilities may only occur when the uses / parties sharing the parking demonstrate that there is not a significant overlap in demand, and that the total number of spaces is sufficient to meet the peak parking demand of any combination of simultaneous uses.
5. A reduction in the required number of parking spaces may be permitted upon site approval by the Planning Commission without the need for a variance whenever, in the opinion of the Planning Commission, a retail use is designed to encourage and facilitate the internal circulation of public transit vehicles and the on-site, convenient, and safe loading and unloading of passengers.
  - a. Examples include but are not limited to: Omnitrans or other public transit with bus stops adjacent to or on-site; community tram / transit system; park and ride facilities; or facilities with disincentives to individual vehicle use; facilities with incentives encouraging other modes of transportation.
6. Driveway aisle widths shall be in conformance with the City of Colton Zoning Ordinance, Title 18 of the Municipal Code.
7. Vehicular access from the retail site in Planning Area 16 to N. Eucalyptus Avenue shall be provided. Access may be through private streets or aisles. Assurances satisfactory to the City Engineer from the applicant will be required to ensure such access remains permanent.
8. Parking Stalls: Whenever the computation of the number of off-street parking spaces required by this section results in a fractional parking space, one (1) additional space shall be required for one-half (0.5) or more fractional parking space and any fractional space less than one-half (0.5) of a parking space shall not be counted.

9. Parking stalls perpendicular to the curb shall be 9 feet (9') by 19 feet (19') except for handicap (accessible) spaces which shall meet ADA and City requirements.

#### Walls and Fences

1. All walls and fences shall be designed to be consistent with the CHCCSP Community Design Guidelines set forth in Section 6.0. No wood fences are permitted within the CHCCSP project area, except for use as access gates in residential areas.
2. Walls and fences constructed on interior lot lines or at the rear of the required landscape setback areas shall not exceed six feet (6') in height unless required by an acoustical study. Walls and fences constructed on perimeter lot lines shall not exceed six feet (6') in height.
3. All privacy walls greater than three feet (3') in height between two buildings facing a street shall be located behind the front of the structure by a minimum of four feet (4').
4. All service, refuse, and storage areas shall be screened with a decorative block wall in conformance with the Community Design Guidelines.
5. All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes. A time limit for temporary use shall be determined by the Development Services Director or his / her designee.

#### Lighting

1. Exterior lighting layout plans for parking and other site areas are required at the Site Plan Review stage that identifies the preliminary layout and type of fixture and pole. If deemed appropriate, a plan that identifies the lighting foot-candles for any given area may be requested by the Development Services Director or his / her designee. Refer to Section 6.0, Community Design Guidelines, for additional lighting standards.
2. Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and / or upward, but not outward from the project area. Refer also to the Community Design Guidelines.

#### Mechanical Equipment

All mechanical / electrical equipment such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust, and aboveground electrical equipment shall be screened. Screening shall be provided as an integral aspect of the building design. Screening shall be provided with landscape and / or decorative walls.

#### Landscape

1. All areas of the site not occupied by buildings, parking, service and storage areas, or otherwise utilized shall be fully landscaped in conformance with the Community Design Guidelines, Section 6.0, and as described below.
2. Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six inches (6") higher than the adjacent vehicular area.

3. All service, refuse, and storage area walls visible to the public shall be screened with plant materials. Vines shall also be required and shall not exceed seven feet (7') on center spacing along required screen walls, minimum five (5) gallon size within minimum eighteen inch (18") wide planting areas.
4. Parking area landscape requirements as follows. The intent of providing landscaping in parking areas is to offer relief to the monotony of rows of parked cars and to create an attractive overhead shade canopy. Parking lot trees are required to be located a maximum of every four (4) stalls on average (approximately every thirty-six feet [36']) in cases where face-to-face parking stalls occur. Planting "pockets" within the parking lots shall be a minimum four feet (4') by four feet (4') clear and may be oriented on a diagonal. At ends of parking rows, landscaped "islands" a minimum of six feet (6') wide are required for the length of the parking stalls.
5. Along the perimeter of the site within building and parking setback areas, a minimum of one (1) tree per twenty five (25) linear feet of planting area is required. Trees may be grouped or spaced evenly.
6. All trees shall be fifteen (15) gallon minimum size. A minimum of twenty percent (20%) of all trees shall be twenty-four inch (24") box size and a minimum of five percent (5%) of all trees shall be thirty-six inch (36") box size. These shall be in addition to those trees planted within the parking lot "islands" and planting "pockets," which shall be a minimum twenty-four inch (24") box size. Selected trees in parking lots shall be ones that at maturity form a shade canopy. If palm trees are provided in parking lots, they shall be feather and not fan palms, which provide a greater shade canopy.
7. Screening of parking lots adjacent to street rights-of-ways is required. Along the perimeter of all parking lots facing a public street or open space, the intent is to provide screening for the first three feet (3') above the highest point that exists on either the street right-of-way or parking lot. A hedge, berm, decorative masonry wall, or combination of any two may be provided. If a hedge is provided, it shall be a continuous row of plants, five (5) gallon minimum size, equally spaced not to exceed three and one-half feet (3.5') on center. Hedges should be set back from curbs to allow overhangs of parked cars. If a berm is provided, it shall not exceed a maximum of 3:1 grade on either side of the berm.

**TABLE 4-D DEVELOPMENT REGULATIONS AND STANDARDS  
RES-MU**

<b>Lot Requirements:</b>	
• Minimum Parcel Size	2,000 s.f.
• Minimum Parcel Width	25'
• Minimum Parcel Depth	50'
<b>FAR/Density Standards</b>	
• Floor Area Ratio (FAR)	Up to 2.0 maximum
• Minimum Residential Density	20 du/acre
• Maximum Residential Density	40 du/acre
• Minimum Residential Floor Area	50% in Mixed Use Projects
<b>Minimum Setbacks (From ultimate R.O.W. or PL)</b>	
<b>Front Building Setbacks:</b>	
• From Valley Blvd. and San Bernardino Ave.	15'
• From Local Roads (Wildrose Ave, Street A, N. Eucalyptus Ave.)	4'
<b>Side Building Setbacks</b>	
• From Valley Blvd. and San Bernardino Ave.	15'
• From Local Roads (Wildrose Ave, Street A, N. Eucalyptus Ave.)	4'
• Interior Lots	0'
<b>Maximum Front or Street Side Setback (From ultimate R.O.W. or PL)</b>	Minimum setback + 15', except that up to 40% of the lot frontage beyond the minimum setback shall be occupied by usable open space
<b>Rear Building Setbacks</b>	
• Interior Property Line or Alley	10'
<b>Minimum Sidewalk Width</b>	
10' from the back of the landscaped parkway or 17' from the back of the curb, whichever is greater	
<b>Good Neighbor Minimum Setbacks</b>	
• Where the side of a lot abuts the R1, R2, or Res-M1 zone	10'
• Where the rear of a lot abuts the R1, R2, or Res-M zone	15'
• Portions of any building over 35' that abut the R1, R2, or Res-M zone	20'
<b>Ground Floor Transparency</b>	
• For ground floor uses that are non-residential	65%
• For ground floor uses that are residential	40%
<b>Lot Coverage:</b>	
• Maximum Coverage	80%
<b>Maximum Building Height:</b>	
• Primary Structures	60'
• Accessory Structures	10' below building height of primary structure but not less than 15'
<b>Maximum Block Perimeter</b>	
1,400 feet	
<b>Walls and Fences:</b>	
• Maximum height in building setback area	3'
• Maximum height other locations	6'
<b>Parking:</b>	
• Minimum Resident Parking	1 space for studio and 1-bedroom units; 1.5 spaces for 2+ bedroom units
• Minimum Guest Parking	1 space for each 6 units. Public or private on-street parking may be counted toward guest requirements.
• Minimum Commercial Parking	1 space per 500 square feet

## Notes to Tables 4-D:

1. All building setbacks are measured from the street rights-of-way shown in street sections or from the ultimate property line.
2. Setbacks along private streets shall be measured from back of sidewalk. If no sidewalk, then from face of curb.
3. Minimum parcel widths shall be measured at the front setback line.
4. Architectural projections may project a maximum of three feet (3') into required front, rear, or side setback areas; however, in all cases, there shall be a minimum clearance of four feet (4') to an opposing projection, including a building, wall, or fence. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, and other similar elements.
5. Balconies, open covered porches, patio walls, and gates are permitted to project into the setbacks as indicated in the development regulations or as otherwise specified in this document.
6. The minimum depth of an open covered porch shall be five feet (5'). Clearance between opposing porches or balconies shall be fifteen feet (15') in front-to-front building orientations, and ten feet (10') in other conditions.
7. Side yard slopes of 2:1 or greater shall not encroach more than fifty percent (50%) into yard setback areas.
8. Shared use easements are permitted.
9. Recreational vehicle (RV) parking is prohibited for more than seventy-two (72) hours on residential streets.
10. Buildings three (3) stories or greater shall be subject to City of Colton Fire Department approval.
11. Building articulation is required on rear building elevations along alleyways.
12. Along a side yard adjacent to an alley, there shall be a minimum of two feet (2') of planting area where a wall or fence is adjacent to an alley curb or sidewalk, whichever is closer to the wall or fence.
13. Wall and Fence measurements: The height of a wall or fence shall be measured from the highest ground level on either side of the wall or fence. In order to allow for variation in topography, the height of a wall or fence may vary in an amount not to exceed eight inches (8") provided that in no event shall the average height of the wall or fence exceed the maximum height permitted.

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## 4.3 Open Space/Parks (OS/P) and Open Space Habitat (OS/H)

These land use categories include uses in Planning Areas 3, 6, 11, 12, 13, 14 and 18. Park uses and design, including all recreational amenities to be included in PA's 12, 13 and 14, are subject to review and approval of the City Development Services Director and/or his/her designees.

Any use of the Open Space / Habitat areas in PA 3, 6, 11 and 18, other than as a preserved habitat, shall be subject to review and approval by the Development Services Director in consultation with the appropriate public agencies having jurisdiction.

## 4.4 Sign Regulations

### Comprehensive Sign Program

A comprehensive sign program will assure that signs for all land uses within the Colton's Hub City Centre Specific Plan Amendment (CHCCSP) area are integrated into the overall community vision and theme.

### Purpose and Intent

Signage is an important design element of the physical environment and an important aspect of business communication. As a planned architectural feature, a sign can be attractive and harmonize with the physical character of its environment.

The purpose and intent of the sign regulations for the CHCCSP are the same as those identified in the current City Sign Ordinance (Title 18, Chapter 1850).

1. Promote an economically stable and visually attractive community and ensure that the special character and image the City is striving for can be attained.
2. Promote signs and graphics that are attractive, pleasing and harmonized with the physical character of the environment and surrounding properties, while serving the advertising needs of the business community;
3. Promote traffic safety and the smooth and efficient flow of pedestrians and vehicles to their destinations;
4. Direct persons to various activities and enterprises, in order to provide for maximum public convenience.

### Authority and Requirements

The sign standards that follow shall apply to all properties located within the CHCCSP project area. The City of Colton Zoning Ordinance, Title 18, Chapter 1850, of the Municipal Code, shall prevail for this section, except as otherwise indicated in the standards that follow. The changes that have been incorporated and modify the current City Ordinance are based on tailoring the signage needs to the CHCCSP area, which as a large master planned mixed use community has

certain unique signage requirements. If there is a discrepancy between the City Zoning Ordinance and the CHCCSP, then the CHCCSP shall take precedence.

A sign permit shall be obtained from the City prior to the construction or installation of all permanent and temporary signs within the CHCCSP project area.

### Design Standards for Signage

The design standards set forth in this section shall be adhered to for all signage within The CHCCSP Specific Plan.

### Community Monument Signs

Community monument signs as described in Section 6.0 and illustrated in Figures 6-35 through 6-37 establish the community identity at the primary entries into the CHCCSP area and shall be designed and constructed to meet the intent as shown. They shall be constructed by the developer for each respective planning area in which they occur. Other than within apartment sites, no additional monument signs are permitted within residential planning areas. Additional monument signs are permitted within commercial parcels.

### Commercial Parcel Area Signs

Within commercial (non-residential) areas, additional monument signs are permitted for identification of different office, business and retail centers. It is in the interest of both aesthetics and traffic safety that sign information is kept to a minimum. Only the name of the businesses and / or the name of the shopping center shall appear on the sign. The use of subordinate information such as telephone numbers, lists of products, pictures of products, etc., is not permitted.



*Example of 20' tall sign with shopping center, business / merchant names only.*

Each sign shall be designed with the intent and purpose of relating to the architectural style of the main building or buildings within each Planning Area. The sign shall also be compatible with the style or character of signage and development in adjacent planning areas if said signage was approved following adoption of the CHCCSP. Signs located within non-residential planning areas but adjacent to pre- dominantly residential areas shall consider compatibility with such residential area.

Where there is more than one monument sign located within any Planning Area, all such signs shall follow the uniform design standards described in the City Zoning Ordinance, Chapter 18.50, and shall have designs which are well related to each other by the similar treatment including the following six design elements:

1. Type of construction materials as used in the several sign components, such as cabinet, sign copy, supports.
2. Letter style of sign copy.
3. Illumination.
4. Type or method used for supports, uprights or structure on which sign is supported.
5. Sign cabinet or other configuration of sign area.
6. Shape of entire sign and its several components.

Each monument sign shall be located in a planted, landscaped area which is of a shape, design and size that will provide a compatible setting and ground definition to the sign, as determined by the Development Services Director or his / her designee. The planted landscaped area shall be maintained on a reasonable and regular basis. Monument signs shall be nonmoving stationary structures. In all components and illumination (if any) shall be maintained by artificial light (either internally or externally) which is stationary and constant in intensity and color at all times (nonflashing).

All retail, office, and business park uses shall be considered non-residential property as relates to the City Sign Code.

A uniform sign program for all new multi-tenant developments of three or more separate tenants is required for all Retail, Office, and Business Park uses and for residential Planning Areas 25, 26 and 27 within high density uses.

The maximum height of a free standing monument for business park or office uses shall be six feet high (6') and eight feet (8') wide. For retail uses less than twenty (20) acres in size, the maximum height shall be six feet (6') high and twelve feet (12') wide.

For retail uses twenty (20) acres or greater, the maximum monument sign height shall be twenty feet (20') high and fifteen feet (15') wide, similar to dimensions of the sign in the example above on the previous page.

Pylon / freeway signs shall be permitted to exceed fifty feet (50') in height if approved by the City Planning Commission.

### Temporary Community Marketing Signs

For the residential areas, temporary signs for sales and marketing of the master planned community should be provided in a comprehensive sign program. Signage along perimeter and interior streets that identify the community and each of the new developments, including directional signs and other types of community information shall be submitted for review and approval by the Development Services Director. The duration of the use of the signs shall also be determined by the Development Services Director.

### Temporary Real Estate Signs for Residential Parcels

Temporary real estate signs advertising real property of ten (10) or more dwellings which has been subdivided for the purposes of sale or lease, shall be subject to the following conditions:

1. The sign shall remain only as long as some portion of the property advertised for sale remains unsold, or for a period of two (2) years from the recordation of the final map, whichever period is shorter. Subject to review and approval by the Planning Commission, such time may be extended for one year, provided that there is still a bona fide offering of lots in the subdivision for sale. Not more than one (1) such extension may be granted.
2. The signs shall be located on the premises that they advertise.
3. No sign shall exceed thirty-two (32) square feet in area. No one dimension shall exceed feet (8') for the sign.
4. Not more than one (1) advertising sign that shall be permitted in any subdivision. Additional signs for parking area identification, model home unit identification, (one (1) per model), and other model home information shall not exceed four (4) square feet per sign or a maximum single dimension of two (2) feet.
5. Temporary banners, flags and pennants may be used for advertising the sale or lease of the tract, subdivisions or development and models therein, in compliance with standards of the City Sign Ordinance, Chapter 1850.
6. No signs shall be posted in the public right-of-way. Any sign(s) so posted shall be subject to removal with removal fees to be billed to persons benefiting from sign(s).
7. No lighted or luminous sign shall be so constructed, erected or placed so as to direct or reflect artificial light onto any structure used exclusively for residential purposes.

### Temporary Off-Site (Kiosk)

All temporary off-site signs shall be provided in conjunction with a uniform sign program as administered by a company that provides off-site signage and is approved by the City pursuant to the City Zoning Ordinance Section 18.50.120.

### Wall Murals

Wall murals may be permitted in any retail planning area subject to the following conditions:

1. Wall murals shall be installed directly on a building wall.
2. There shall be no projection of the wall mural in any direction from the surface of the structure exceeding three (3) inches, except for a frame around the mural.
3. The property owner shall give his written consent to erect and further shall agree to properly maintain and remove that mural in accordance with conditions established by the Planning Commission.
4. Wall murals shall be approved by the Planning Commission subject to:
  - a. Conceptual compatibility of the design with the immediate environment of the site.
  - b. Appropriateness of the design and size to the function of the site.
  - c. Compatibility of the design and location within a unified design theme.

- 
- d. Appropriateness of the design as a public work of art. The design may portray, but not be limited to, a cultural, historical or scenic subject.

The Planning Commission shall establish a maximum time period for the existence of a wall mural. The Planning Commission may establish such further conditions, as it deems appropriate upon approval of an application for a wall mural. All applications for murals as specified shall be made on a scale rendering and / or scale model.

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# SECTION 5

## CIRCULATION, PUBLIC FACILITIES AND SERVICES

### 5.0 Circulation, Public Facilities and Services

#### 5.1 Circulation Plan

A major road network is already in place for the Colton's Hub City Centre Specific Plan Amendment (CHCCSP) project area, providing excellent north / south and east / west vehicular circulation routes. A full interchange also exists at Pepper Avenue and the I-10 Freeway. Road and bridge improvements at the interchange are scheduled to occur in 2014. Based upon a comprehensive traffic study prepared for the CHCCSP project area, the required future road sections and rights-of-way were developed. Refer to the Circulation Plan, Figure 5-1 and corresponding road sections in Figure 5-2. Existing and planned road widths are summarized below. New road improvements or existing roads that require widening or other improvements shall be a condition of development subject to approval by the City engineer and Development Director.

##### Pepper Avenue

Pepper Avenue is designated as a Major Arterial. It is currently a major north / south 6-lane divided thoroughfare with a full interchange at the I-10 Freeway. Most of Pepper Avenue has been fully improved and includes a 17 foot wide raised median. See Figure 5-1 and Street Section A on Figure 5-2. The interchange is planned for major improvements in 2014.

The primary change will be to provide a seven foot wide landscaped parkway on the west side of the road with an eight foot wide combination sidewalk and Class I bike lane. The additional right-of-way and improvements will occur as a condition of future development.

##### Valley Boulevard

Valley Boulevard is designated as a Major Arterial. It is currently a four lane road and will be increased to six lanes and include a raised median. See Figure 5-1 and street section A on Figure 5-2.

##### San Bernardino Avenue

San Bernardino Avenue is designated as a Collector Street. It is currently a four lane road and will remain in that configuration. See Figure 5-1 and Street Section B on Figure 5-2.

The street width and right-of-way may be expanded approximately 10 feet on the south side of the road in the future to accommodate an Omnitrans Bus Rapid transit line, should that become a reality. See Figure 5-1 and Street Section B on Figure 5-2.

### **Meridian Avenue**

Meridian Avenue is an existing 2-lane local road and will be improved to 4 lanes. See Figure 5-1 and Street Section B on Figure 5-2.

### **Wildrose Avenue (North Of Street A), Woodpine Avenue, Indigo Avenue, Hermosa Avenue, Street A and C Street**

Wildrose Avenue, Woodpine Avenue, Indigo Avenue, and C Street are existing 2-lane roads and will remain so. While Wildrose currently extends between Valley Boulevard and San Bernardino Avenue, it will be changed to a cul-de-sac on its north end to avoid through traffic in residential areas. Street A is a new 2-lane road located between Wildrose Avenue and N. Eucalyptus Avenue and is also designated as a 2-lane road.

Wildrose Avenue and Woodpine Avenue will have a 36' curb to curb street section within a 72' right of way. Wildrose Avenue between Woodpine Avenue and Valley Blvd will have a 48' curb to curb street section within a 72' right-of-way. Woodpine Avenue and Indigo Avenue will have a 48' curb to curb street section within a 64' right-of-way.

### **Wildrose Avenue (South Of Street A) and N. Eucalyptus Avenue**

Wildrose Avenue (south of Street A) is an existing 2-lane road. N. Eucalyptus Avenue is a new road and an extension of N. Eucalyptus Avenue north of San Bernardino Avenue. Both are planned as 2-lane roads with a 40' curb to curb street section within a 64' right-of-way.

### **Bus Rapid Transit**

Based on discussions with representatives of Omnitrans, they are estimating that within the next 5 to 10 years a bus rapid transit (BRT) system will be in place to serve the CHCCSP project area and surrounding communities. The current Omnitrans plans establish a BRT beginning point for the CHCCSP project area along Valley Boulevard at Hermosa Avenue, north on Pepper Avenue, and an end point at the western boundary of the project area along San Bernardino Avenue. The bus line would continue westerly from that point.

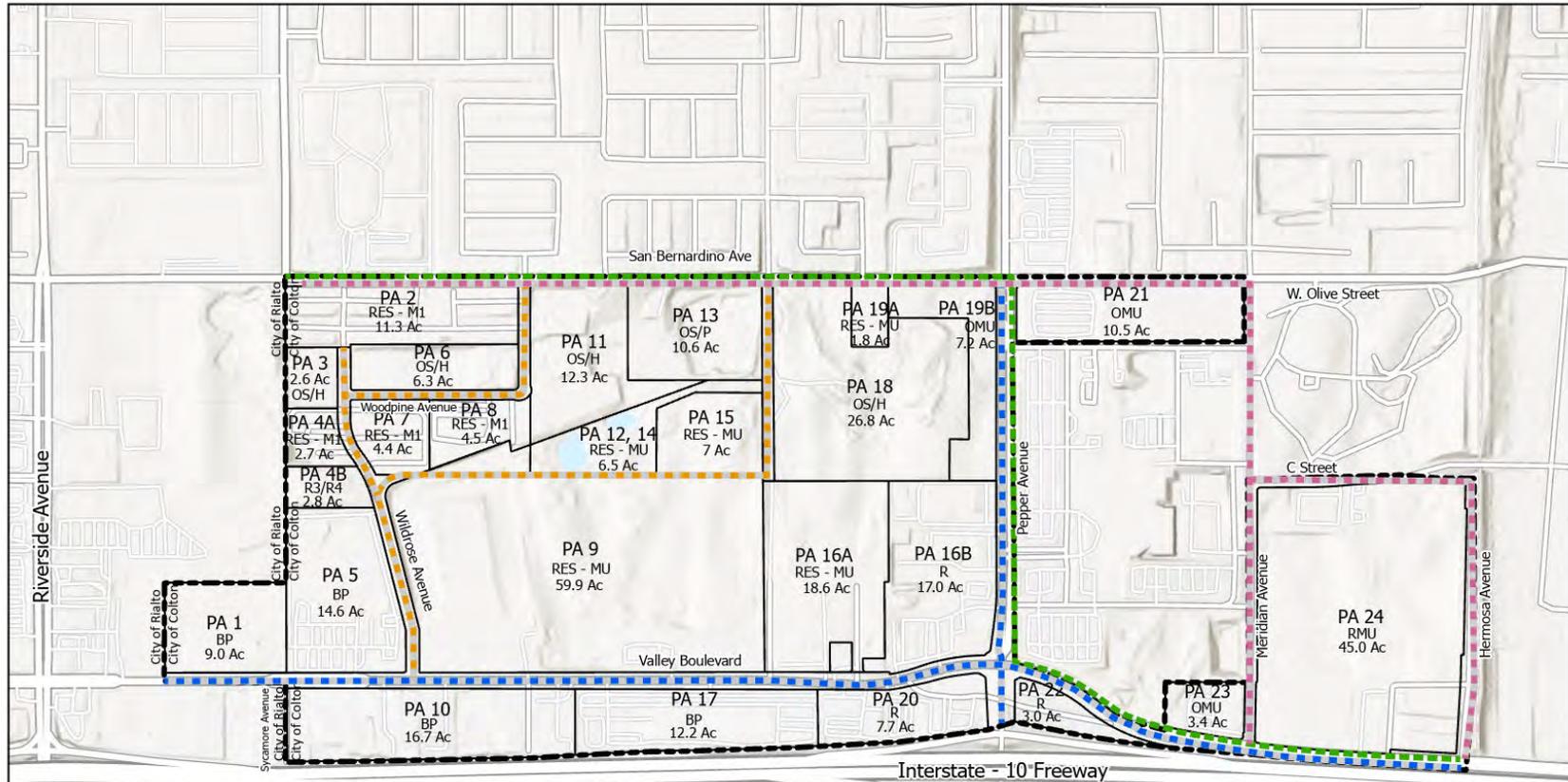
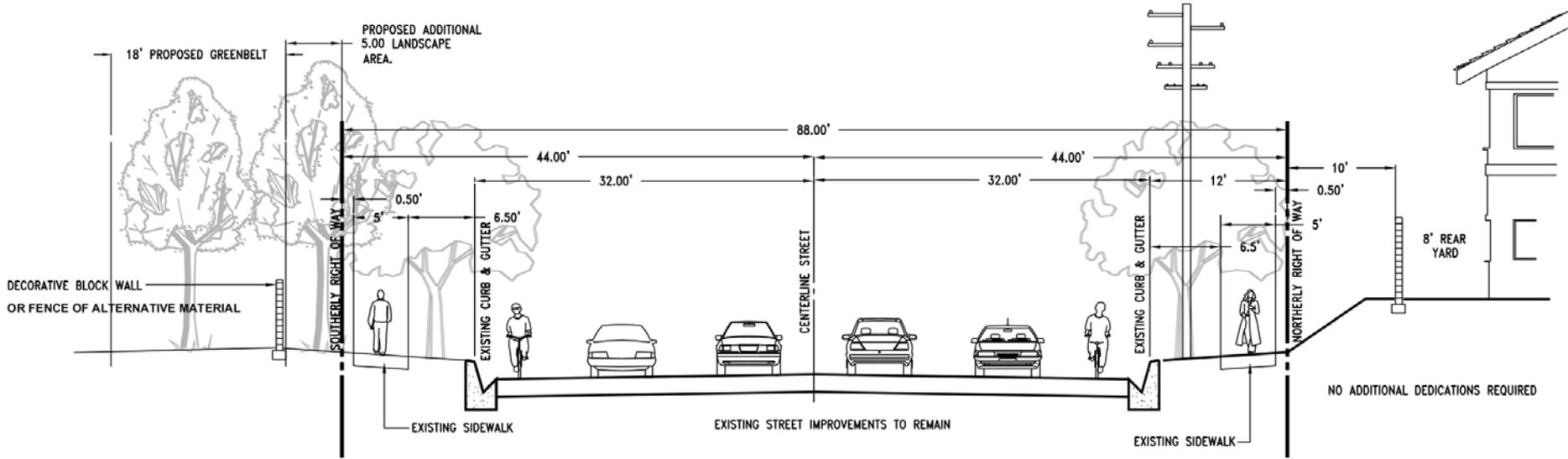


Figure 5-1 Circulation Plan

- LEGEND**
- ■ ■ Major Arterial - 6 lanes divided
  - ■ ■ Secondary Arterial - 4 lanes
  - ■ ■ Local Street - 2 lanes
  - ■ ■ BRT - Holt Line



**B**  
**SECONDARY ARTERIAL**  
**SAN BERNARDINO AVENUE**  
**(4 LANES)**

Note: Pursuant to CHCCSP  
Amendment No. 1 Wildrose Village

Figure 5-2 Street Sections

Because there is no certainty that continuity of the exclusive bus lanes can be provided outside of the specific plan area, instead of exclusive BRT lanes, “queue jumper” lanes and bus priority signalization at major intersections are planned for in the CHCCSP area. These improvements are part of Omnitrans’ Bus Stop Guidelines (2006). Where applicable, all applications for development adjacent to the proposed BRT route shall be subject to review by the Development Services Director to assure queue jumper lanes and bus priority signalization at major intersections can be provided.

### **Pedestrian Connectivity/Bicycle Routes**

One of the primary goals identified for the CHCCSP area is to create a safe, walkable community that connects the residential neighborhoods to one other, as well as to the parks, school, new commercial uses and the surrounding community.

Figure 5-3, Bike Lane and Sidewalk Master Plan, identifies the routes for both pedestrian and bicyclists. To enhance safety, all pedestrian walks along interior residential neighborhood public streets are separated from the street by a landscape parkway. Provisions in the development Regulations and Community Design Guidelines have been provided to ensure that pedestrian connectivity is provided to interconnect all land uses.

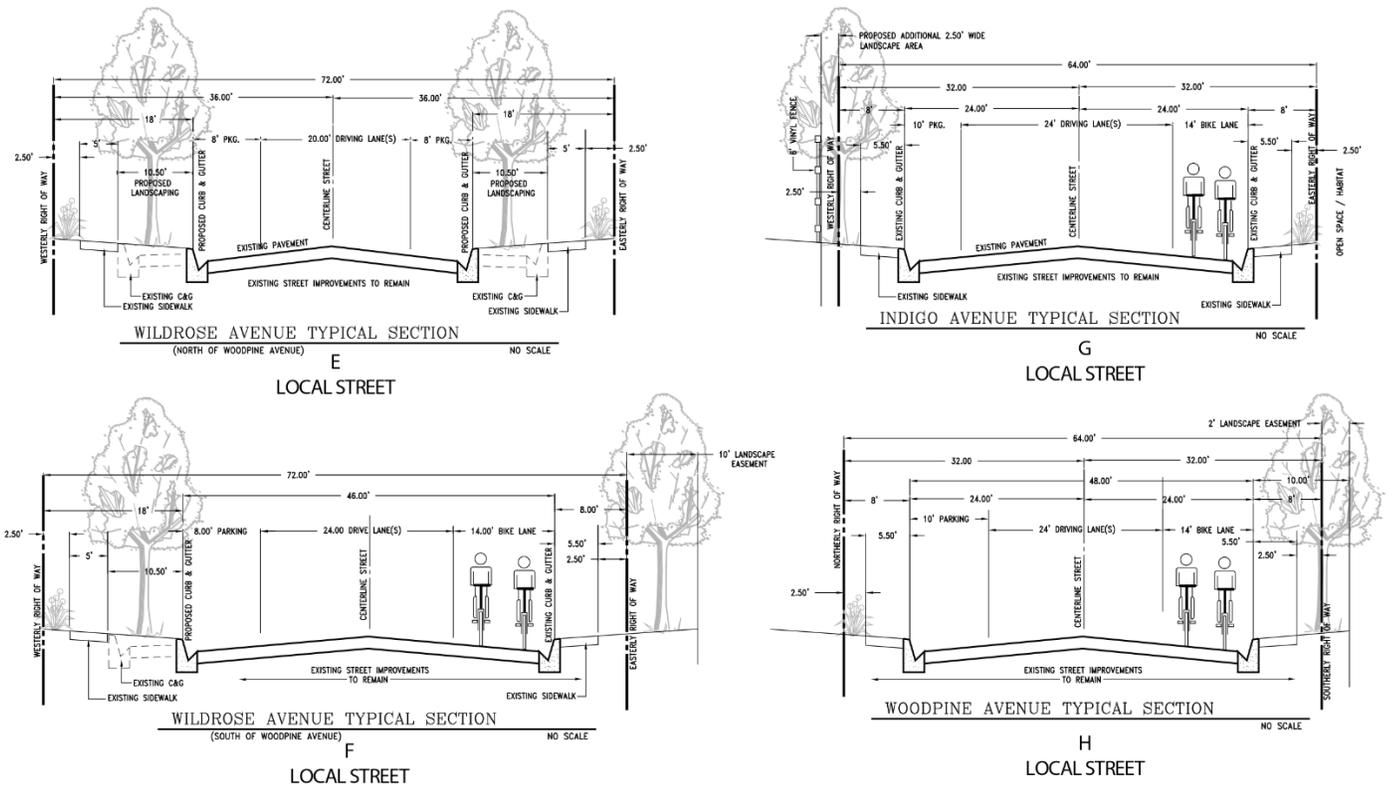
## **5.2 Infrastructure: Grading, Sewer, Water, Storm Drainage, Utilities**

### **5.2.1 Overview**

The following describes the various infrastructure master plans to support the land uses for Colton’s Hub City Center Specific Plan (CHCCSP) including grading, sewer, storm drainage and water. Utilities including electric, telephone, gas and cable television are also discussed. Proposed drainage, sewer, and water master plans have been conceptually designed to provide an adequate level of service for the maximum level of the planned development. These master plans are based on various city infrastructure studies.

### **5.2.2 Master Grading Plan**

The existing topography on the project site is split with a high point at San Bernardino Avenue at Eucalyptus Avenue. Overall the average grades across the site vary from 0.5% to 1.5%. The portion of the site lying westerly of Eucalyptus Avenue drains south and westerly towards Valley Boulevard and the portion of the site lying easterly of Eucalyptus Avenue drains south and easterly towards Valley Boulevard and Meridian Avenue. Portions of the existing golf course currently lie about 7 feet below the grade of Valley Boulevard. As a result, portions of the site will require significant grading. All grading shall be done under the jurisdiction of the latest edition of the CBC, and the City of Colton Building and Safety and Engineering Divisions. The Grading Plan has been designed to accommodate drainage and a street system that meets city standards for acceptable infrastructure grades. The conceptual Master Grading Plan is shown on Figure 5-4.



Note: Pursuant to CHCCSP Amendment No. 1 Wildrose Village

Refer to Figure 5-1 for street locations.

Figure 5-3. Bike Lane and Sidewalk Master Plan

In most areas, the proposed grades will be within 1 to 7 feet of the existing ground surface. This may increase in the business park, where larger pads are typically needed. The earthwork of each individual development is expected to balance with the exception of Planning Areas 9, 13 and 16 (existing golf course and park sites). Planning Areas 9, 13 and 16 are expected to have significant amounts of import, estimated import quantities are shown on the Conceptual Master Grading Plan. A more detailed analysis of the grading plan will be required as part of the final project design. The grading and earthwork volumes will then be refined to meet the requirements of the City of Colton based on the proposed land use.

### 5.2.3 Master Sewer Plan

The City of Colton owns, operates and maintains a wastewater collection, pumping and treatment system and will be providing the wastewater collection for the proposed CHCCSP area. The city is responsible for the construction and on-going maintenance of the wastewater collection system within the city limits.

The conceptual Master Sewer Plan shown in Figure 5-5 depicts the existing and proposed location and sizes of the wastewater collection system within the CHCCSP area. At the present time there is an existing 12-inch sewer main in Valley Blvd., west of Pepper, and a 15-inch sewer main within Valley Blvd., east of Pepper Avenue. In addition, there is an existing 12-inch main running north-south in Wildrose Avenue, an existing 8-inch main running east-west on Woodpine Avenue and north-south on Indigo Avenue, an existing 12-inch sewer line running north-south along the existing Eucalyptus Avenue right-of-way, an existing 8-inch sewer line running north-south along Pepper Avenue as well as an existing 8-inch sewer line running north-south in Meridian Avenue which transitions to a 10-inch line near Valley Blvd.

The proposed sewer system consists of a new 8-inch sewer pipe in N Eucalyptus Ave. running southerly to Street "A", the 8-inch sewer continues on Street "A" connecting to the existing 12-inch sewer on Wildrose Ave. The existing 12" sewer located in Valley Blvd. from Wildrose Avenue to Pepper Avenue will be abandoned or removed and replaced with a new 15 inch sewer pipe. A new 10-inch sewer pipe is proposed within Hermosa Avenue, running northerly from Valley Blvd. All proposed sewer pipes within the CHCCSP area are designed to fall within the proposed dedicated street rights-of-way; no additional rights-of-way are required to provide sewage collection within the CHCCSP area.

A more detailed analysis of the size and location of the wastewater collection system will be required as part of the final design. The sewer pipe size will then be refined to meet the requirements of the City of Colton based on the proposed land use.

### 5.2.4 Master Water Plan

The City of Colton and West Valley Water District currently provide water service for the CHCCSP area. The City of Colton currently provides water service to the area east of Pepper Avenue and West Valley Water District currently provides water service to the area west of Pepper Avenue. The conceptual Master Water

Plan on Figure 5-7 depicts the existing and proposed location and sizes of the water distribution system within the CHCCSP area.

The portion of the project served by West Valley Water District is in their Pressure Zone 3 system. There is a 12-inch diameter pipeline in Wildrose Ave, Woodpine Ave, Indigo Ave and San Bernardino Ave, between Wildrose Ave and Eucalyptus Ave. There is an 8-inch diameter pipeline in San Bernardino Ave, between

Eucalyptus Ave and Pepper Ave., there is also a 10-inch diameter pipeline in Pepper Ave and Valley Ave between Eucalyptus Ave and Pepper Ave. as well as an 8-inch diameter pipeline in Rexford Avenue.

The proposed water distribution system consists of abandoning the existing 16-inch water line in Eucalyptus Avenue and constructing a new 16-inch water line in the new Eucalyptus Avenue right-of-way. Also proposed is a new 8-inch water line in Street "A". All proposed water lines within the CHCCSP area are designed to fall within the proposed dedicated street rights-of-way; no additional rights-of-way are required to provide water distribution within the CHCCSP area.

West Valley Water District's existing storage capacity for Pressure Zone 3 is 9 million gallons. Preliminary calculations indicate the need for additional storage for the Zone 3 system. A Water Supply Assessment (WSA) for the Specific Plan area located within the WVWD service area, dated September 5, 2013, has been approved by the West Valley Water District Board of Directors. A WSA has also been approved by the City of Colton for its respective service area.

A more detailed analysis of the size, location and capacity of existing facilities of the water distribution system will be required as part of the final design. The water pipe size will then be refined to meet the minimum requirements of the City of Colton and WVWD based on the proposed land use.

### 5.2.5 Master Storm Drain

The project site is located within the boundaries of the San Bernardino County Flood Control District. That portion of the project that lies west of Eucalyptus Avenue drains south and westerly towards Valley Boulevard and Sycamore Avenue, to the Rialto Channel Drainage Area, in Master Plan Drainage Area 3-3. That portion of the project that lies east of Eucalyptus Avenue drains south and easterly towards Valley Boulevard and Meridian Avenue to the previously constructed 108 inch storm drain pipe at Meridian and I-10 Freeway, in Master Plan Drainage Area 3-5. This existing Master Plan 108 inch storm drainpipe is bulkheaded at the I-10 Freeway. Master Storm Drain is shown on Figure 5-6.

Storm drainage master planning is a joint responsibility of the City of Colton and the San Bernardino County Flood Control District. Drainage and flood control facilities and drainage improvements shall be provided in accordance with the requirements of the San Bernardino County Flood Control District. The San Bernardino County Flood Control District is responsible for the regional channels, debris basins, and detention facilities. The city is responsible for the acceptance, maintenance, and master plan design of the local drainage collection systems, local detention basins, and the storm drain infrastructure that carry runoff to San Bernardino County Flood Control District regional facilities.

The master planned drainage facilities are designed to carry various design flows. The project will be required to convey safely the 100-year storm event for the developed condition. In order to minimize deficiencies in the existing drainage system, individual developments will be responsible for detaining all stormwater in excess of the sites existing peak runoff. According to the City of Colton, a 72-inch storm drain was constructed from the existing 84-inch storm drain (Colton Drain) in Valley Boulevard, at the west end of the Specific Plan boundary, to Eucalyptus Avenue continuing north on Eucalyptus Avenue as a 66-inch storm drain to the existing George Brown Park detention basin located south of San Bernardino Avenue at Eucalyptus Avenue. This storm drain extension is bulkheaded at the future connection to the existing 84-inch Colton Drain due to backwater issues caused by the Rialto Channel. The constructed length or constructed pipe sizes of this storm drain line have not been verified and would be verified before any connections are made to the storm drain.

When the ultimate 3-5 storm drain system is installed downstream to the Santa Ana River it is anticipated that the George Brown Park site will no longer be required for flood protection (refer to City of Colton Storm Drain System Update by GTS Associates). Prior to the completion of the 3-5 storm drain system the existing George Brown Park site will be required to provide interim flood protection to mitigate flooding downstream. The estimated flood volume to the George Brown Park site based on the rational method calculations in the report "Preliminary Study for Comprehensive Storm Drain Projects 3-3, 3-5, 3-8 Rational Method Volume III" prepared for the City of Colton, dated May 20, 2008, is about 24 acre-feet. The George Brown Park site currently discharges water to the 3-3 drainage basin.

A more detailed analysis of the size and location of the storm drain system will be required as part of the final design for each development application. The storm drain pipe size will then be refined to meet the requirements of the City of Colton based on the proposed land use.

### 5.2.6 Utilities

The electric, telephone, gas and cable television utilities providers are as follows. Each will be connected at the most convenient existing locations and extended through the site during the phased construction of the project.

#### a. Electrical Service

For electrical service, the CHCCSP is served by Colton Electric. Address is 150 S. 10th Street, Colton, CA 92324; (909) 370-5104.

#### b. Gas Service

For gas service, the CHCCSP area is served by The Gas Company. Address is 1981 W. Lugonia Avenue, Redlands, CA 92374; (909) 335-3919.

#### c. Telephone Service

For telephone service, the CHCCSP area is served by Verizon. Address is 1400 E. Phillips Boulevard, Pomona, CA 91766; (909) 469-6343.

#### d. Cable Television Service

For cable television service, the CHCCSP area is served by Time Warner Cable, South Division; (888) TW-CABLE.

### 5.3 Community Services

The following information provides a summary of the community services to be provided to the CHCCSP project area.

#### 5.3.1 Police and Fire Protection

The Colton Police Department provides law enforcement for the City and will be responsible for servicing the entire CHCCSP project area. Colton's current standard is a ratio of one sworn police officer per 1,000 residents. The police station is located at 650 N. La Cadena Drive in Colton. Additional sworn police officers will be required to support the development at this same ratio. A sub-station will be required for the project within the future retail center within Planning Area 16 or other location deemed acceptable to the Police Department. As part of any retail development within Planning Area 16, the applicant will be required to work with the Police Department to locate such a facility to the satisfaction of the Police Department and the City Planning Commission.

The City of Colton Fire Department provides fire protection to the CHCCSP area. They also provide paramedic service in this area. The closest station is Fire Station #212, which is approximately one mile away, located on 1511 N. Rancho Avenue, northeast of the project. The response time from Fire Station is approximately six minutes to the project area.

While no fire station is required for the CHCCSP area, the current Fire Station #212 may need to be upgraded or relocated to better serve new development in the project. Therefore, prior to approval of each application within the CHCCSP area, the applicant(s) will be required to work together with the Fire Department to address their needs. Fire sprinklers are required for all residential buildings with the exception of detached one and two-family homes, per current city requirements. One-family and two-family homes may also require fire sprinklers subject to a determination by the Planning Commission.

In the event lake features occur in the CHCCSP area, access shall be provided for fire trucks for use in case of emergencies to the satisfaction of the Fire Department.

#### 5.3.2 Library Services

The City of Colton has two libraries to serve the CHCCSP project area. The Colton Public Library is the closest at approximately two miles, and is located at 656 N. 9th Street. The Luque Branch Library, is located at 294 East "O" Street.

#### 5.3.3 Public Schools

The Rialto Unified School District (RUSD) serves the student population that will be generated by the residential uses within the CHCCSP.

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## 5.4 Capital Improvement Program

Public facility and utility infrastructure implementation and financing will be determined based on individual property owner timing and market conditions. It is envisioned that land development costs for public services e.g., sewer, water, storm drain, dry utilities, public parks and open space may be funded through a combination of the following: private developer funds, special assessment districts, Mello-Roos community facilities districts, or other sources.

## 5.5 Infrastructure Development Requirements

Development within the CHCCSP area is projected to occur over a ten to fifteen year time period.

The scope, timing and location of each development area will depend upon individual property owner requirements. For any project, assurances shall be provided to the City prior to occupancy that all infrastructure improvements necessary to serve that portion or phase of the project are in place. Proposed infrastructure plans for any project shall be reviewed and approved by the City Engineer and Development Services Director to ensure that sizing and design of the infrastructure complies with the infrastructure master plans and technical reports contained in the CHCCSP or within any technical Appendices. Subsequent studies and / or more detailed analysis may be required by the City Engineer if deemed necessary to ensure the health, safety and general welfare of the community.

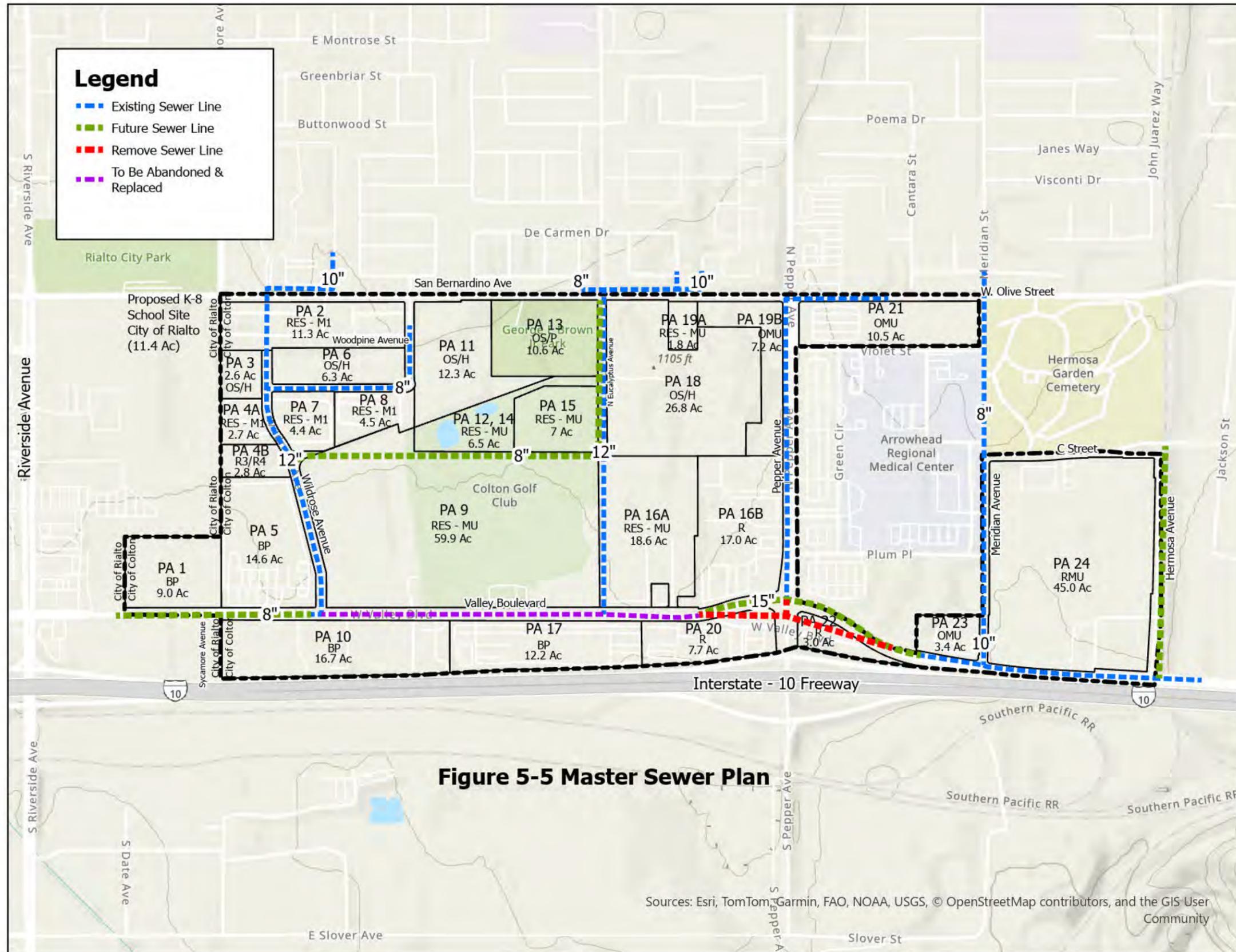
Model homes and temporary sales offices may be permitted exempt from these conditions subject to approval of the Development Services Director.

## 5.5 Maintenance

Table 5.1 that follows identifies the Maintenance Responsibilities of the various components within the Specific Plan boundary.

**Table 5.1 – Maintenance Responsibilities**

	City and / or Special District	Private Homeowners Association (HOA) or Sub-Association	Private Homeowner, Commercial / Business Park / Industrial Property Owners	Utility Entity
Master Plan Roadways (curb-to-curb, parkways, sidewalks, street lights) Valley Boulevard, Pepper Avenue, San Bernardino Avenue, Hermosa Avenue, Meridian Avenue)	X			
Interior Project Roads: (curb-to-curb, parkways, sidewalks and street lights) Wildrose Avenue, Indigo Avenue, N. Eucalyptus Avenue, Woodpine Avenue, Street A	X			
Traffic Signals	X			
Traffic Control Signs	X			
Private Alleys		X		
Driveways and Parking Areas Serving Commercial / Business Park / Office / Retail uses located in R, BP, OMU and RMU areas.			X	
Off-site and on site water, sewer, and storm drain improvements (excluding laterals)	X			
Parks - Private		X		
Parks - Public	X			
Private Recreation Building, Pool Areas		X		
Residential Front Yard Landscaping – RES M1 areas.		X		
Landscaped Common Areas within individual project boundaries.		X		
Community Theme and Wall and Entry Monuments (outside face for graffiti removal)	X			
Alley Landscaping		X		
Electricity				X
Natural Gas				X
Communication Systems				X



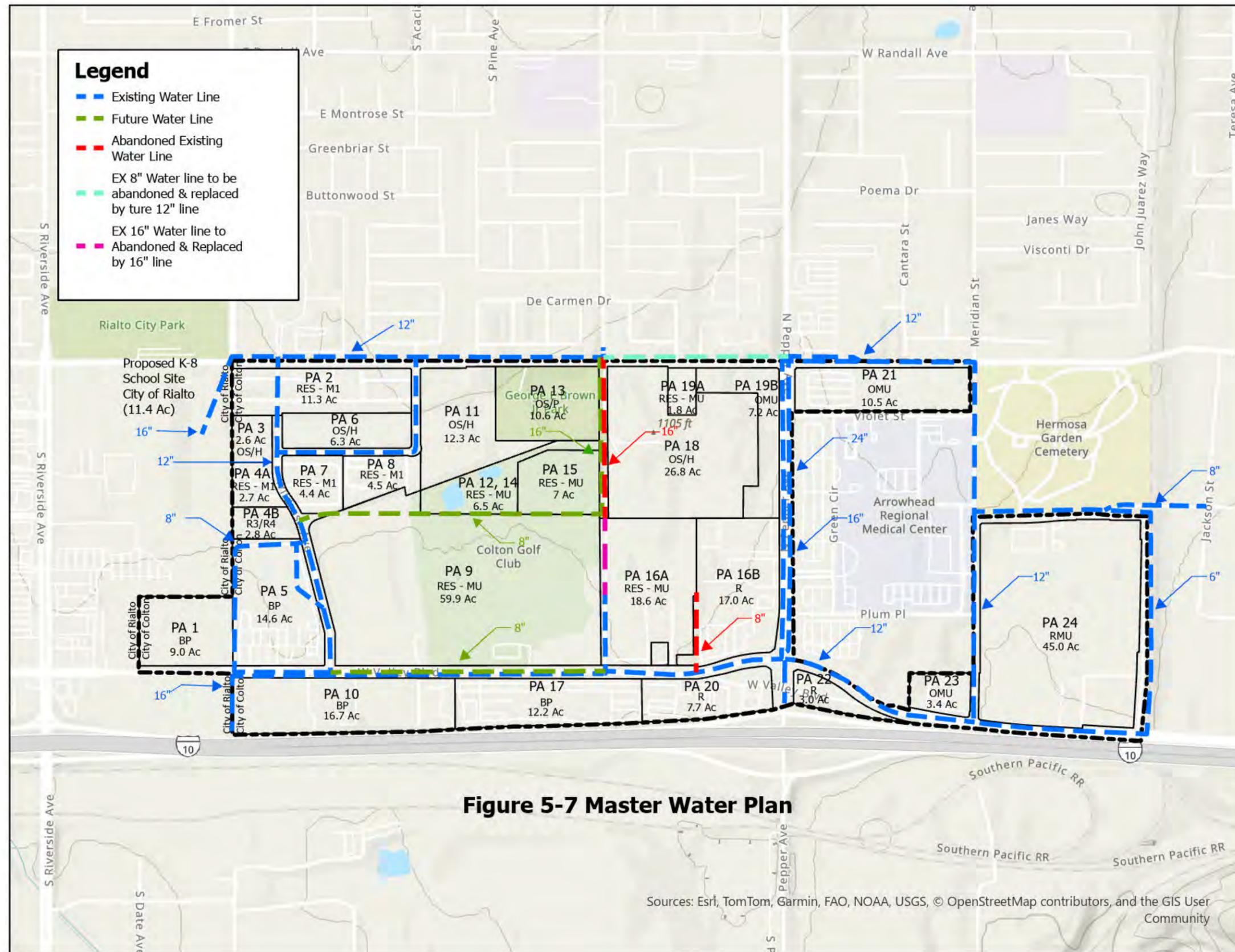
**Figure 5-5 Master Sewer Plan**

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

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**Figure 5-7 Master Water Plan**

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

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# SECTION 6

## COMMUNITY DESIGN GUIDELINES

### 6.0 Community Design Guidelines and Objective Design Standards

#### 6.1 Purpose and Intent

The Colton's Hub City Centre Specific Plan Amendment (CHCCSP) Community Design Guidelines provides standards and guidelines for all major community design elements: site planning, architecture, monumentation, landscape, signage, lighting and other improvements in order to implement the "Vision" and "Principles" identified in Section 2.0, Community Planning and Design Principles. Additionally, the objective design standards set forth in Section 6.8 also provide standards including: site planning and building design to implement the "Vision" and "Principles" for residential mixed use development projects.

Sketches, exhibits and representative project photographs are intended as visual aids in conveying basic design intent. They are provided as a "palette" of design elements to guide the design of the various sites but are not to depict any actual lot or building design. Architects, engineers, landscape architects, developers, builders and others involved with project design of each individual parcel are encouraged to use creativity and imagination in developing their precise design proposals and to build upon these guidelines. Refer also to Section 4, Development Regulations, for each of the respective land use types.

All project applications shall be in substantial conformance with these guidelines. As used in this section, "shall" indicates a requirement and "should" indicates a guideline that is strongly recommended and is subject to discretion by the Development Services Director or his / her designee and / or Planning Commission during the development application review process. The renderings and sketches that follow include the Specific Plan project name "Colton's Hub City Centre". The City Council has sole discretion to revise the project name at a future date.

Objective Design Standards set forth in Section 6.8 apply to new Res-MU development proposals within the boundary of the Specific Plan. For further discussion of applicability of the objective design standards see Section 7.3.3.

## 6.2 Design Guideline Objectives and Objective Standards

The primary objectives of these Guidelines are to:

1. Provide guidance and criteria to City staff, the Planning Commission and City Council in the review of future development applications.
2. Implement the Vision and Principles identified in Section 2.0, Community Planning and Design Principles, including the following:
  - ✧ Establish design elements that create a village environment.
  - ✧ Establish and encourage pedestrian connectivity among various land uses.
  - ✧ Provide emphasis on the pedestrian and pedestrian scaled design elements.
  - ✧ Create a community design that will add value for property owners, future residents, businesses, and the City as a whole.
  - ✧ Implement the Housing Element programs and comply with state housing laws.

## 6.3 Community Identity / Village Environment

Most memorable communities with a village type environment share certain common characteristics. They are walkable, include quaint parks and beautiful tree shaded streetscapes with rich landscaping in residential and commercial / business areas. They have a distinct identity that comes through due to a combination of quality architectural and landscape design elements, including enhanced entry monumentation, street furnishings and signage. They are also pedestrian scaled: interior streets are primarily two lanes, architectural elements visible from the public domain are more highly detailed with special attention to building forms, roof lines, and entries, windows, and other elements that enrich the community. There is also a timeless quality, one that improves in character and charm over time. These types of village settings are frequently referred to as “Early California” vernacular. Examples of these settings can be found in many older communities such as Pasadena, Claremont, and Riverside.

This Early California vernacular has been selected as the guiding design influence for the CHCCSP. For residential areas, it opens the door to a wide diversity of architectural influences such as Monterey, Spanish Eclectic, Craftsman and Cottage styles, among others. Within the retail areas and particularly the Main Street elements, Early California influences provides a wide range of architectural elements, with pedestrian scaled store fronts that incorporate a rich variety of materials such as stone and brick. For the office and business parks, the village character can be achieved by providing a campus like setting, with tree shaded parkways in public streets and well landscaped project areas.

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The guidelines in this Section identify the quality and character envisioned for the CHCCSP to implement this Early California vernacular. All development proposals for the CHCCSP shall meet or exceed the quality shown.

The guidelines are organized into the following sections:

- RETAIL
- OFFICE
- BUSINESS PARK
- RESIDENTIAL
- RESIDENTIAL MIXED USE
- RESIDENTIAL SITE LANDSCAPE, WALLS, AND FENCES
- COMMUNITY STREETScape MASTER PLAN
- COMMUNITY ENTRY MONUMENTS , WALLS AND FENCES
- COMMUNITY LANDSCAPE GUIDELINES
- OUTDOOR LIGHTING

## 6.4 Retail Guidelines

### Objectives

The objective for Retail areas is to promote development of a vibrant walkable Village Center Hub that includes a “Main Street”, entertainment and hospitality components combined with large format department stores, large format national retail stores and other support uses. The many existing and planned uses near the Center will add to its vitality.

With the planned nearby office, Business Park and residential uses, there is likely to be a substantial number of people that will walk to the Retail areas. This is in addition to the potential use by many of those who are employed by or visit the ARMC. Therefore, during all phases of planning and development, a strong emphasis should be placed on creating pedestrian connectivity to the adjacent and nearby uses.

The Retail Guidelines are divided into several categories as follows:

- Main Street
- Northwest Corner of Pepper Avenue and Valley Boulevard
- Large Format Buildings
- Hotel and Motels
- Service Stations and Car Washes
- Drive-through Businesses

Each of the above categories is subdivided into Site Planning / Landscape Guidelines and Architectural Guidelines below. Refer in particular to Section 4.0 Development Regulations, and to Section 7.3.4, for Master Planning requirements for all Retail (R) planning areas.

## Main Street - Site Planning / Landscape Guidelines

Main Street “lifestyle centers” typically provide specialty goods, services and restaurants with outdoor patios and dining areas in a village atmosphere, reminiscent of early California Main Streets. These lifestyle centers are typically located within a larger shopping center context. This retailing model, mixing small scale shops and restaurants along a central Main Street within a larger shopping center setting, has become more popular throughout the Inland Empire and nationwide as it combines small village scale shopping and dining with the convenience of having all major national scale retailers in one location. Since shoppers at these centers are inclined to visit more than one store, and tend to spend time browsing through several shops, retail sales are often greater.

Figure 6.1 conveys the overall concept of a Main Street for Colton’s Hub City Centre. It is set within the context of a larger shopping center. The Arrowhead Regional Medical Center, north of the I-10 Freeway and Valley Boulevard, is shown along the right portion of the rendering.

The renderings illustrate the goals for PA 16 and includes specialty shops, restaurants with outdoor seating areas, small plaza / fountain areas and thematic lighting.

The building locations in the rendering are shown for conceptual purposes. The goal is to provide future shopping center developers with an overall concept to guide future detailed plans. The following provides various considerations to be taken into account during the planning and design of the Main Street:

1. To create an attractive and vibrant pedestrian scale Main Street setting, enhance walkways in fronts of buildings with landscaping, thematic lighting fixtures, benches, trellises, and other decorative features. Organize buildings to encourage pedestrian circulation between stores and adjacent uses. Minimum walkway widths adjacent to buildings should be 12 feet to provide ample room.
2. Provide an arch way or equivalent architectural feature at the primary entry area from Valley Boulevard and/or Pepper Avenue as shown in Figure 6-2.
3. Orient primary store entries and windows to the Main Street so they are easily identifiable and inviting as shown in Figure 6-3.
4. Provide a roundabout to create a focal point for the Main Street and include a fountain and/or other focal element such as a sculpture or specimen tree. Figure 6-4 illustrates a concept with a fountain in a roundabout.
5. Seek to incorporate a movie theater complex in any master plan concept within Planning Area 16 and orient it to the Main Street as an architectural focal point. See Figure 6-5.
6. Provide one row of parking (parallel, perpendicular or angled) on the Main Street on each side of the street. All other parking shall occur in the rear of the Main Street with pedestrian access between buildings to meet minimum parking stall requirements.



A 'Main Street' component is shown above in the context of a larger shopping center complex.



This rendering illustrates the character envisioned for the 'Main Street'.

Figure 6-1  
Main Street Guidelines



Incorporate an archway with signage to create a prominent Main Street entry.



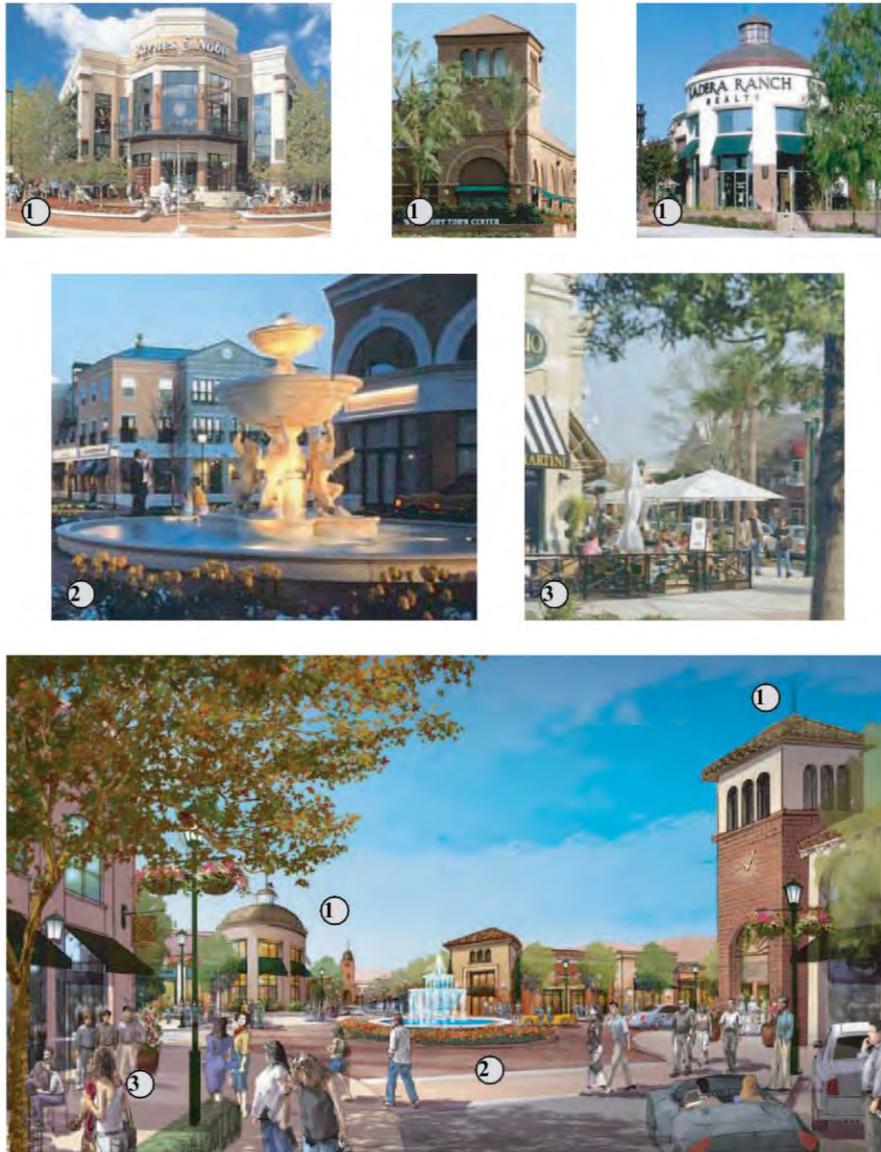
Provide lighting to enhance night time character.

Figure 6-2  
Main Street Entry Guidelines



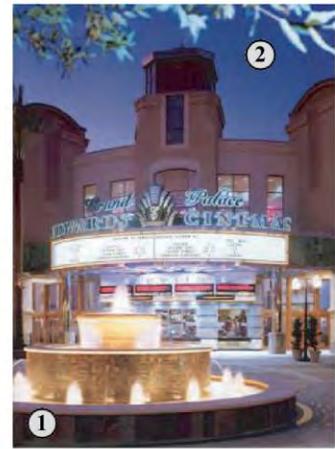
Vary 1 and 2 story building massing. Second stories may be false facades only. Incorporate brick, stone and other materials to create variation. Avoid continuous unbroken facades.

Figure 6-3  
Retail Main Street Architecture Guidelines



1. At entry points from major streets and at intersections along the Main Street, provide architecturally enhanced corner elements.
2. Provide a round-a-bout at central location on the Main Street with decorative fountain.
3. Outdoor patios at restaurants encouraged, corner locations preferred.

Figure 6-4  
Main Street Architectural Guidelines



1. Include a fountain and plaza as a focal point and gathering area in any movie theater location.
2. Provide variation in form, massing and color.

Figure 6-5  
Movie Theater Guidelines

7. In areas between buildings that link parking lots to the Main Street pedestrian, include pedestrian walkways a minimum of fifteen feet (15') wide and a trellis. Provide pedestrian links to public sidewalks and plaza areas from retail buildings.
8. Incorporate current and future Omnitrans bus routes into final design concepts. Provide enough spacing at bus stops for ADA compliance and to provide seating and a shade canopy along all major streets.
9. Locate refuse bins and their enclosures behind buildings and screened with walls and landscape. Include a planter area with vines to soften the wall.
10. Locate loading docks and service areas in the rear of buildings and screened from public view. Design loading areas to prevent truck back-up maneuvers from or onto the public rights of way.
11. Parking areas and parking lots, including cross walks shall be well lighted. Provide cut-off type luminaires to avoid glare.
12. Enhance parking areas with canopy / shade trees. Screen all parking areas through use of landscaped berms, low masonry walls and / or hedges from public view.
13. Incorporate trees into tree wells or planting strips along the walkways in from of buildings facing the Main Street. Locate trees no greater than thirty five (35') feet apart to soften and complement the building elevations and to provide shade for the pedestrian.
14. Provide enhanced paving on main pedestrian pathways in parking lots. See Figure 6-6.

### Main Street - Architecture Guidelines

1. Incorporate appropriate architectural styles reminiscent of California's rich heritage, including, Monterey, Mission, Spanish eclectic, among others. Art deco is a style that could be complementary for the movie theater or as an accent use such as a thematic diner. Refer to Figures 6-3 through 6-5 for examples that meet the intent. Inappropriate styles would be high-tech, modern or rustic.
2. Provide vertical and horizontal variations on building wall planes, building projections, and door and window bays visible to the public. Also provide large windows, colonnades, awnings, and variation in materials.
3. Design all buildings to pedestrian scaled, e.g., massing and form should not overwhelm the street.
4. A variety of roof types are encouraged. Distinct and interesting rooflines are preferred. Flat roof structures are permitted providing there is variation in heights along the lengths of buildings. Long, unbroken horizontal rooflines are prohibited.
5. The architecture for franchise shops and restaurants, particularly fast food restaurants, should incorporate architectural elements that relate to the overall retail theme of the project.
6. Include a minimum of one significant vertical element extending above the tallest roof lines to provide a focal point and a view terminus on the Main Street.



Main pedestrian pathways in parking lot to include specialty paving such as colored stamped AC paving, stamped concrete or pavers.

Figure 6-6  
Pedestrian Walkway Guidelines

7. Decorative awnings, covered walkways, and other enhancements are encouraged as accents.
8. Incorporate one and two-story building massing, with preference for a greater percentage of two-story elements, to create a stronger traditional Main Street character. False second-story elements may be incorporated to provide second story building massing.
9. Provide accent materials such as stone, brick, manufactured stone, accent colors, door and window details, and other enhancements along the first floor level and along all building facades visible to the public. Avoid long unadorned building facades.
10. Include storefront signage along rear facades facing parking lots and / or public spaces in addition to facades facing the Main Street. All signs should be pedestrian oriented in scale.
11. Design building elevations with multiple store front designs instead of one uniform elevation. The intent is to create an eclectic mix of elevations consistent with an Early California vernacular that provides an attractive Main Street character and scale. Provide architectural enhancements on all building corners of the Main Street. Refer to Figure 6-3.
12. Prohibit freestanding fast food drive-thru restaurants on the Main Street as they are not consistent with the character and intent. Fast food restaurants, non-drive thru, may be permitted provided they are incorporated into the overall Main Street architectural character.
13. Provide accent tree planting at all vehicular access points into the site, except service entries.
14. Screen all parking areas from public streets through use of landscaped berms, low masonry walls and/or hedges.

#### **Northwest Corner of Pepper Avenue and Valley Boulevard - Site Planning /Landscape Architectural Guidelines**

The northwest corner of Pepper Avenue and Valley Boulevard within Planning Area 16 will be important in establishing a strong and attractive identity for the community and for the retail center in particular. Therefore special guidelines are provided below.

1. Provide a combination fountain, sign monument and plaza. Refer to Figure 6-7 for general design intent.
2. Provide pedestrian access through the plaza at the corner of Pepper Avenue and Valley Boulevard to access shopping areas and the Main Street.
3. Provide specialty paving to enhance the entry character. Paving examples include colored concrete with decorative score lines, colored stamped concrete or stamped AC paving, brick, masonry or other similar materials.
4. Provide accent lighting for the fountain and entry sign.
5. In order to ensure that the corner to the retail center is attractive and inviting, fast food drive thru restaurants shall be subject to a conditional use permit that demonstrates the design intent illustrated in Figure 6-7 can be met.
6. All site planning, landscape and architectural guidelines listed under the Main Street Guidelines above apply to the northwest corner.



At the northwest corner of Pepper Avenue and Valley Boulevard incorporate a combination entry monument and cascading fountain



Example of cascading fountain.

**Figure 6-7**  
**Entry Monument/Fountain Concept**

### Large Format Stores — Site Planning and Landscape Guidelines

Large format (department stores and retailers greater than 15,000 square feet) describes development characterized by larger than average retail square footage under one roof. Large format retail development requires extensive parking to accommodate higher parking demand. Within all Retail (R) or Retail Mixed Use (RMU) areas, other than the Main Street or the Northwest retail corner described above, traditional larger format stores are permitted.

1. Provide ample walkways a minimum of twelve feet (12') in width in front of all buildings to encourage pedestrian use. Also include trees in planting areas or tree wells, at an average of thirty-five feet (35') on center, within walkway areas adjacent to stores to soften and complement the building elevations and provide shade for the pedestrian. Within common areas provide benches, shade trees, and specialty paving such as colored concrete, colored pavers, or other similar materials.
2. Provide pedestrian walkways to link to the Main Street and surrounding community.
3. Include vehicular access to connect to N. Eucalyptus Avenue.
4. Design entrances and exits to avoid interference with traffic flow along adjacent streets.
5. Locate refuse bins and their enclosures behind buildings and screen with walls and landscape. Include planter areas with vines to soften the wall.
6. Design loading areas to minimize direct exposure to public view and to prevent truck back-up maneuvers from or onto the public rights-of-ways.
7. Screen loading areas with landscaping to reduce visual impacts.
8. Provide lighting in parking areas and parking lots, including cross walks to the satisfaction of the Development Services Director. Cut off type luminaries shall be provided to avoid glare.
9. Design all ingress and egress into the retail center to minimize impacts on the surrounding uses while permitting ease of access to the center.
10. Enhance parking areas with canopy / shade trees.
11. Provide accent tree planting at all vehicular access points into the site, except at service entries.
12. Screen all parking areas from public view through use of landscaped berms, low masonry walls and/ or hedges.
13. The following minimum tree sizes apply for all development: 5% - 36" box, 15% - 24" box and 80% -15-gallon.

### Large Format Stores — Architecture Guidelines

1. A variety of roof types are encouraged. Distinct and interesting rooflines instead of flat roofed structures are recommended.
2. Include a substantial cornice at the top of a parapet wall or other enhancements.
3. Provide an identifiable base on all big box buildings extending two (2) or more feet up from the finished grade.



Along building fronts provide a walkway enhanced with landscape and specialty lighting.



Provide variation in forms and massing, combined with large recessed windows, substantial cornices and enhanced building materials.

Figure 6-8  
Large Format Store Guidelines

4. Include highly resistant base materials to damage, defacing, and general wear and tear. Precast decorative concrete, stone masonry, brick, manufactured stone and commercial grade ceramic tile are examples of acceptable base material.
5. Where practical, locate small retail buildings adjacent to big-box buildings with access from the parking lots areas to create a more human scale setting.
6. To mitigate the appearance of large blank walls visible from public rights of way, incorporate exterior wall treatments such as arcades, portico's, insets, colonnades, awnings, windows to create variation in massing and materials.
7. Design outdoor gardening facilities or similar outdoor use areas to complement the architecture of the primary building as well as overall site design.
8. Refer to Figure 6-8 for examples that incorporate the design guidelines above.

### Hospitality — Site Planning and Landscape Guidelines

Multiple opportunities exist for hotel and motel sites within the Retail (R) and Retail Mixed Use (RMU) land use categories to serve business and recreational travelers. The proximity to restaurants and shopping uses creates an ideal condition for travelers, who typically prefer lodging where they can drive short distances or walk. Hotels and motels may also serve the needs for families of patients at the ARMC and who desire overnight lodging.



While the rendering above shows two hotel locations near the I-10 Freeway and Pepper Avenue interchange, the design guidelines apply to any location, refer also to Figure 6-9.

1. In order to create a presence along a major street frontage, provide direct access to the building along an entry drive and to avoid driving through the parking lot.
2. Provide enhanced landscaping on all street front setback areas, along the building base, adjacent to entrances to hotels and motels, and along property lines visible from offsite or from guest access areas.
3. Provide short term parking spaces near the reception/check in areas.
4. Screen delivery and loading areas to minimize impact on sensitive uses.
5. Screen all mechanical equipment of all types, including swimming pool equipment, to minimize impacts on adjacent uses and from the public right-of-way.



Establish a primary presence along the major street frontage with the building or entry canopy. Screen parking lots from public view.



Provide an entry canopy visible from the street that creates a sense of entry and provides shade for visitors.

**Figure 6-9**  
**Hospitality Guidelines**

6. Design recreational facilities such as swimming to offer privacy to facility users.
7. Avoid locating driveway, garage ramps or loading and service areas where they interfere with the flow of pedestrian movement or impact the privacy of guestrooms.
8. Utilize parking lots and other open spaces on the site to create a buffer between the hotel/motel and the freeway.
9. Screen all parking areas from public view through use of landscaped berms, low masonry walls and/ or hedges.

### Hospitality — Architecture Guidelines

1. Divide building bays along the building facades to create interest and in order to avoid long unarticulated wall façades.
2. Design walkway, stairway, balcony railings and other similar details to be visually and stylistically consistent with the basic building design.
3. Exterior corridors on multi-level buildings over two stories located adjacent to residential uses are prohibited.
4. Ensure that all guest rooms are accessible from hallways for structures over two stories, and avoid room entrances directly adjacent to parking lots or exterior walkways.
5. Refer to Figure 6-9 for examples that incorporate the design guidelines above.

### Service Stations and Car Washes – Site Planning and Landscape Guidelines

Service stations and car washes are highly utilized uses characterized by unique site features including: Intensive on-site vehicle utilization, on-site repair and servicing, large expanses of paving, use of equipment and machinery, and use of potentially hazardous materials. In order to complement the overall village character for the CHCCSP area, the following site and landscape guidelines shall apply.

1. Orient building elevations containing service or repair bays away from public streets or toward residential uses within three hundred feet (300') of the property.
2. Group structures together and integrate them into the overall design of a site.
3. Locate service bay door and car wash entry and exit openings away from public streets or residential areas, and provide screening with landscaping to reduce visibility.
4. Provide landscaping within required setback areas consistent with the development regulations and other sections of the Community Design Guidelines. Screen all parking areas from public view through use of landscaped berms, low masonry walls and / or hedges.
5. Provide a fuel delivery truck lane through the site with a minimum turning radius of forty feet (40') and provide for right side unloading of the vehicle into underground tanks.



Provide reverse frontage which focuses the building inward towards the shops and stores. Vary building massing and produce a clearly defined entry.



Incorporate a canopy that complements the building architecture.

**Figure 6-10**  
**Service Station Guidelines**

6. For projects located at street corners provide strong design elements to anchor the corner. This can be accomplished using built elements and attractive landscaping features.
7. Enclose storage facilities within the primary structure on the site.
8. Design self-service car wash bays, drying and vacuuming areas to avoid conflict with on-site vehicular circulation.
9. Design self-service car wash bays, and drive-through car wash facilities to ensure all drainage is confined on-site.
10. Provide two-way vehicular access between uses when a service station abuts a commercial development.
11. Shade canopies or structures for a car wash, whether temporary or permanent, shall require approval of the Development Services Director or his / her designee.
12. Provide a seating plaza / customer waiting area with shade trees for drive thru car washes. This is not required for drive thrus that do not provide attendants to wash cars.

### Circulation and Parking

1. Design the site so that fuel trucks are able to enter and exit a site with ease and to minimize maneuvering to park and unload.
2. Locate filling pumps, car wash bays, or other on-site facilities to avoid vehicle stacking or overflow onto adjacent streets. Provide vehicle stacking for a minimum of two vehicles per filling pump side.
3. Locate self-service facilities, such as water and air, or telephone so that they do not obstruct on-site circulation.
4. Design all security fencing, in addition to required perimeter walls to be consistent and in character with adjacent architecture.
5. Provide roll-up (or similar) doors at all service bays. Locate all operating mechanisms within the interior of the structure.

### Service Stations and Car Washes- Architecture Guidelines

1. Provide architectural variation and interest and all building elevations. For all building elevations facing public streets, provide enhanced architectural elements. Refer to Figure 6-10.
2. Design all service station buildings in context with the site and complementary to community design standards for adjacent site's.
3. Avoid corporate or franchise design, except for logos and signage, that does not relate to the overall community character.
4. Design all pump island canopies and canopy / shade structures at car wash facilities with a hip, gable, barrel vaulted, or other roof system to match the architecture of primary structures on the site. Avoid continuous flat roof structures. Temporary canopies are subject to approval by the Development Services Director. See Figure 6-10.
5. Architectural materials to be high quality, durable building materials. Avoid reflective, glossy and fluorescent surfaces.

6. Enclose car wash equipment within a permanent structure.
7. Incorporate noise control in car wash building design that minimize noise generated by machinery, blowers, or other mechanical equipment.
8. When service stations / car washes include retail store components, fifty percent (50%) of unobstructed, clear glass is recommended for the store front portion facing a public street.
9. When service stations / car washes include retail uses, provide a clearly defined pedestrian path from required on-site parking to the primary customer entrance.

### Drive-Through Businesses — Site Planning and Landscape Guidelines

Drive-through businesses include restaurants, banking institutions with drive up teller / ATM access, or other similar facilities. Drive-through businesses require additional site design considerations to mitigate vehicular access, on-site circulation visual and noise impacts. The following supplementary guidelines shall be incorporated into any development providing drive-through service.

1. Create a primary visual presence along the major street frontage with the building, not the parking lot or drive-through lane. To do so, it is recommended that buildings should be located at the minimum front setback line.
2. Screen drive-through aisles from the view of street frontage and adjacent parking areas. through use of landscaped berms, low masonry walls and/or hedges.
3. Locate drive-through aisles away from adjacent residential structures. Place menu board speakers to protect adjacent areas from excessive noise.
4. Design drive-through lanes to accommodate car back up at menu board.
5. The following drive-through design features are recommended - a drive-through lane with a minimum length of one hundred sixty feet (160'), including the following:
  - ✧ A distance of one hundred feet (100') from the center of the pick-up window or the pay window, whichever is first.
  - ✧ A distance of one hundred feet (100') from the order or menu board.
  - ✧ Separation of the “drive-through” traffic from pedestrian traffic, vehicular traffic and parking.
  - ✧ Maintain a separate and distinct drive-through lane separate from the parking area.
  - ✧ Drive-through lane widths with a minimum of ten feet (10') and twelve feet (12') at curves.
  - ✧ Driveway interference – queuing and circulation must not interfere with ingress and egress at driveways.



Screen drive-thru lanes with hedges, landscaped berms and / or low walls.



Design building with variation in form, massing and color. Include a covered patio that complements building architecture.

**Figure 6-11**  
**Drive-Thru Guidelines**

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## Drive-Through Businesses - Architecture Guidelines

1. Provide enhanced architectural treatment on building elevations facing public streets, whether such elevations function as the front, side, or rear of the building.
2. Screen roof top equipment from public view
3. If the drive-through is part of a shopping center, design the architecture to be compatible with the design of the center.

## 6.5 Office Guidelines (OFC)

Office Guidelines are intended for all land uses which permit office uses, including Office Mixed Use, Business Parks and Retail Mixed Use areas. One of the primary goals for office buildings areas is to create an office park setting, one that will allow unique designs for individual parcels while at the same time establish unifying elements that complement the overall community.

Additional goals include: 1) creating an office park with quality buildings and landscape that over time will mature into a campus style setting that will enhance the village character of the community, 2) providing pedestrian and vehicular connectivity to the community and, 3) accommodating the needs for functionality in order to be responsive to a broad cross-section of office park developers and tenants.

Refer to the sketches, plans and photographs in Figures 6-12 through 6-14.

### Office - Site Planning and Landscape Guidelines

1. In order to create an office park campus atmosphere along Valley Boulevard, locate parking areas on the rear or side areas so only landscaping and walkways will occur between the boulevard and building.
2. In order to facilitate location of the entry and to enhance the architecture, identify primary entries to buildings with a prominent element such as an architectural canopy or deep building recess or other similar element.
3. Link office buildings together with pedestrian walkways. Also, to encourage walking in the community, link office buildings to public sidewalks within the nearest street public right-of-way.
4. Where two or more buildings are located on one lot, provide an outdoor courtyard, plaza or other useable space. Include benches, tables, and / or seat walls plus shade trees.
5. Where parking occurs adjacent to a building, provide a minimum of eight and one half (8.5') feet of perimeter landscape between the building and the parking. Include trees, shrubs and ground covers in these landscape areas. Whether trees are equally spaced or in groupings, an average spacing of thirty-five feet (35') is recommended. The following minimum tree sizes apply for all development: 5% - 36 " box, 15% - 24" box and 80% -15-gallon.
6. Enhance parking areas with canopy type shade trees.

7. Screen all parking areas from public view through use of landscaped berms, low masonry walls and/ or hedges.
8. Enhance a minimum of one primary vehicular entry area with special paving. Examples of enhanced paving include colored concrete with decorative score lines, colored stamped concrete or stamped AC paving, brick, masonry or other similar materials.
9. Loading docks and service areas shall be to rear of buildings and screened from public view.
10. Locate refuse bins and their enclosures behind buildings and screened with walls and landscape. Provide a planting area around trash enclosures and plant vines along walls.
11. Provide well-lit parking areas and parking lots, including cross walks in accordance with City requirements.
12. Design all ingress and egress into office uses to minimize impacts on the surrounding uses while permitting ease of access.
13. Provide accent tree planting at all vehicular access points into the site, except service access points.

### Office - Architecture Guidelines

1. For all office building, consider the characteristics of the site and relate designs to the surrounding built environment in scale and character.
2. Coordinate colors, materials and finishes on all exterior elevations of all buildings to achieve continuity of design. Earth tones are encouraged, consistent with the examples shown in Figures 6-12 through 6-14. Avoid bright orange, pink or other intense colors. Materials may be concrete, stone, brick. In the event stone, brick or other similar material is used, manufactured / cultured stone materials shall be permitted. Such materials shall be of high quality and durability.
3. Locate primary entries so they are visible from a public street and accessible to pedestrian walks that link to other parts of the community.
4. Provide an architectural element at primary entries such as an arch, canopy or other similar element to facilitate locating building entries and to create a sense of entry.
5. Incorporating architectural moldings along the roof line of buildings is recommended to occur on buildings to add interest and to create an overall unifying theme to the community.
6. A variety of roof forms are permitted with the office uses. Gable, hip and flat roofs are all acceptable. Flat roofs should be accented or hidden by a parapet wall. Whichever roof form is selected, all roof top equipment shall be screened with a wall material and color complementary to the building material.
7. Refer to Figures 6-7 through 6-9 for additional guidelines. The descriptions provided with each Figure are intended to identify major design elements that are recommended for all office buildings.



1. Along the I-10 Freeway, create a mixed use office, business park and hospitality corridor.
2. Three examples are shown of the high quality 3 to 5 story office building designs. Primary entries are clearly articulated with an arch or other prominent element, vertical and horizontal changes occur in building planes, and there is variety in window forms and placement to create interest.

Figure 6-12  
Office Guidelines



1. For projects with more than one building, provide tree shaded courtyards, patios, and/or plaza forecourts for use by employees and visitors.

Figure 6-13  
Office Guidelines



Each of the examples shown represents 1 and 2 story quality office designs. Entries to buildings are identified with a prominent architectural element, color accents on building planes and window trim are well coordinated, cornices and moldings provide additional interest.

Figure 6-14  
Office Guidelines

## 6.6 Business Park

The following are the goals to create a high quality business park: 1) create a setting with quality buildings and attractive landscape that over time will mature into a campus like environment and complement the “Village” character and vision planned for the CHCCSP area, 2) provide pedestrian connectivity to the overall community, 3) accommodate the needs for functionality in order to be responsive to a broad cross-section of Business Park developers and tenants, and 4) allow unique designs for individual parcels while at the same time establish unifying elements that complement the overall community.

Refer to the sketches, plans and photographs in Figures 6-15 to 6-19 and to Section 4.0, Development Regulations.

### Business Park - Site Planning / Landscape Guidelines

1. In order to establish a village scale and campus character envisioned for the CHCCSP, a maximum building length of two hundred twenty-five feet (225') shall be maintained within all Business Park areas. The intent is to avoid big box warehousing and distribution developments and the associated truck traffic, which detracts from the health, safety and welfare of the larger community.
2. Locate Business Park buildings with the primary entry visible from the public street and accessible from pedestrian walks that connect to the street. The intent is to encourage walking to and from other uses within the community.
3. Identify primary entries to buildings with a prominent architectural element such as an architectural canopy or deep building recess or other similar element to provide a sense of entry.
4. Provide attractive landscape areas within building setbacks adjacent to public streets that will reinforce a campus setting.
5. Enhance parking areas with shade trees. Screen all parking areas from public view with a berm, wall, and / or hedge pursuant to the development regulations.
6. Plant landscape areas adjacent to buildings with trees, shrubs and ground covers. Trees may be grouped equally or in groups. In order to soften the building elevation and to promote a campus character, provide tree spacing at an average of thirty-five feet (35') on center. The following minimum tree sizes apply for all development: 5% - 36" box, 15% - 24" box and 80% -15-gallon.
7. Provide a minimum of one enhanced (1) primary vehicular entry area with special paving. Examples of enhanced paving include colored concrete with decorative score lines, colored stamped concrete or stamped AC paving, brick, masonry or other similar materials. Consistency between enhanced paving within each planning area shall be provided.
8. Locate loading docks and service areas to rear of buildings and screened from public view.

- 
9. Locate refuse bins and their enclosures behind buildings and screened with walls and landscape. A minimum of a two feet (2') wide planting area, planted with vines, is required around trash enclosures.
  10. Provide well lighted parking areas and parking lots, including crosswalks in accordance with City requirements.
  11. Design all ingress and egress into office uses to minimize impacts on the surrounding uses while permitting ease of access.

### **B**usiness **P**ark - **A**rchitecture **G**uidelines

1. Simple, clean forms are preferred with prominent architectural elements at corners and / or the mid-section of all buildings emphasizing primary entries.
2. Place special attention on buildings facing the I-10 Freeway, Valley Boulevard and Wildrose Avenue. For buildings visible from these public corridors, the intent is to create a character reflective of an office building complex with clear or spandrel glass along the entire elevation similar to the examples in Figure 6-18.
3. Coordinate colors, materials and finishes on all exterior elevations of all buildings to achieve continuity of design. Earth tone colors, consistent with the examples shown in Figures 6-11 through 6-14 are encouraged. Avoid bright orange, pink or other intense colors. Materials may be concrete, stone, or brick. In the event stone, brick or other similar material is used, manufactured / cultured stone materials are permitted. Such materials shall be of high quality and durability.
4. A variety of roof forms are permitted. Gable, hip and flat roofs are all acceptable. Accent or hide flat roofs with a parapet wall. Whatever roof form is selected, screen all roof top equipment with a wall material and color complementary to the building material.



The white and grey color palette, large windows, scoring patterns and awnings provides more than sufficient interest for one story elevations.

**Figure 6-15**  
**Business Park Guidelines**

**COLTON'S HUB  
CITY CENTRE  
SPECIFIC PLAN**



Roll-up garage doors maintain clear path for small trucks servicing the buildings. Only roll-up garage type doors, versus dock high doors, are permitted. This will effectively limit uses to those services by trucks instead of tractor trailers, which require dock high doors for loading and unloading.



Along rear building service areas, scoring patterns and color palettes similar to front building elevations adds interest and maintains a cohesive architectural theme.

Building service areas and loading areas shall be located along rear of buildings or fully screened from public roadways.

**Figure 6-16**  
**Business Park Guidelines**



Alucabond panels located on the top portion of these two buildings provides an attractive alternative to all concrete panels. Between buildings, landscaped courtyards create opportunities for sitting and enhance the character of the business park.

Figure 6-17  
Business Park Guidelines

COLTON'S HUB  
CITY CENTRE  
SPECIFIC PLAN



Large panels of glass, recessed entries with canopies, and use of color all combine to create an attractive elevation. The grey paneled projections reduce the mass of the building.



This close up view of the building above illustrates attention to detail and well-designed signage.

Figure 6-18  
Business Park Guidelines



Where visible from public streets, primary vehicular entries and parking lots, extend the architectural elements on the front elevation, along the entire side elevation.



For buildings located side by side, extending the architectural elements and details on the front elevation to approximately 40' from the building face works well with a streamlined design pattern towards the rear due to minimal visibility from the public realm.

**Figure 6-19**  
**Business Park Guidelines**

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## 6.7 Residential Guidelines

As described in the Community Vision, the primary objective for the residential neighborhoods is to create an attractive, pedestrian friendly, village environment with the charm and character of many older California communities. The guidelines and exhibits below provide the methods to accomplish these objectives.

### Residential – Site Planning and Landscape Guidelines

1. In order to create an attractive street scene, provide “front forward” architecture. This includes locating first floor living areas in front of the garage and turning the garage at a right angle (side-on garages) to the street. Vary building setbacks between the sidewalk and building face in the range of five to ten feet (5'-10') between adjacent homes, so no two homes are aligned evenly across a street.
2. Provide a minimum of 30% side-on garages of homes along any one street. Include a window on the face of the garage consistent with other windows on the front elevation of the home.
3. Enhance all four sides of the home, also referred to as 360 degree architecture. Include front porches, balconies, pitched roofs and other architectural features that enliven and activate the street for pedestrians.

### Attached Homes

1. Create a pedestrian scaled setting along streets by orienting living areas to face streets and open spaces with garages located behind homes in alley ways or motor courts. This also provides “eyes on the street” that adds to the community security.
2. Whenever possible, interior buildings should be configured around courtyards, gathering areas and open spaces. Amenities should be provided appropriate to the different age groups.
3. Provide a layering of landscape materials with trees, large and small shrubs and ground covers to enhance each home and the community as a whole.
4. Energy efficiency and energy conservation should be considered in siting of buildings.

### Residential – Architecture Objective Design Standards

The residential guidelines are intended to promote diversity within the context of an Early California character. Diversity of styles has several advantages including

1) adds architectural richness and interest and 2) providing flexibility to home builders as they will have many architectural options to choose from and will not be constrained by any one particular style.

The examples provided and the guidelines below shall be used as the design criteria for all residential and residential mixed use architecture.

## Architectural Styles

A variety of architectural styles are included in Figures 6-20 through 6-23 that complement the Early California theme including Monterey, Craftsman, Spanish Eclectic and Cottage Styles.

Other Early California styles not described in the following Design Guidelines are permitted provided they are true to their origins and incorporate design features of the period. If a style is requested that is not included in these guidelines, the applicant shall provide exhibits that include the same information as occurs within the architectural style Figures in this CHCCSP. The exhibits shall include color photographs of representative homes / buildings that incorporate the style, along with a summary of the appropriate building and roof form, colors, and details for review and approval of the Development Services Director or his / her designee. Modern or High tech or similar styles not consistent with an Early California heritage shall be avoided. However, for live work homes in Planning Areas 16A and 24, a more contemporary architectural character may be considered, subject to approval of the Planning Commission.

## Architectural Standards

The following summarizes the major design principles that shall be incorporated into each floor plan and all building elevations. Refer to Figures 6-24 to 6-31 for additional principles and guidelines as well as Sections 6.8, 6.9, and 6.10 for residential mixed use.

**Massing and Scale:** The articulation of building facades and variation in rooflines increases the attractiveness in residential architecture. The location of certain building elements also improves massing and scale. On single-family homes, placing one-story elements on two-story houses at street corners effectively steps down the scale and massing, providing a more pedestrian friendly street scene. Therefore, on corner lot conditions for the single-family homes, architects are encouraged to provide single story elements such as entry canopies, trellises, porches, or other single story architectural enhancements.

**Building Materials and Colors:** Both play an important role enhancing each neighborhood and the community in general. While earth tones are preferred to complement the early California theme, a variety of color palettes are recommended in order to avoid a monotonous or continuous appearance of buildings. Contrasting of a dark trim against a light house color is one example. Examples of preferred color palettes that blend with the community theme are provided in the photographs in Figures 6-20 to 6-31 that follow. Bright orange, pink or other intense colors shall be avoided.

**Window Details:** Window details differentiate architectural styles and provide a high level of architectural enrichment. The selection and proportion of the windows to the facade should be responsive to the architectural style of the building. Size and shape should be considered to assure a balanced relationship with the surrounding roof and walls. Accent shutters are ways to further enhance the architecture and should be in keeping with the scale of the windows. In general, windows should enhance rather than dominate the overall architectural character.

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**Porches and Balconies:** Another way to add to the architectural interest and functionality of a building is to incorporate porches and balconies. They help add depth to a building facade and break up large wall masses. Front porches and balconies also provide a pedestrian friendly scale and opportunity for social interaction. The design of the porch or balcony shall be consistent with the architectural style.

**Columns and Posts:** Whether serving as structural or aesthetic elements, columns and posts can reinforce the theme and character of a particular architectural design. The size and scale of columns and posts will vary depending upon the architectural style and should convey a solid, durable image. They may be freestanding or used as a support.

**The Articulation of Rear and Side Building Facades:** Where homes are visible from streets or alleys, enhancement of rear and side elevations facing the public domain (e.g. public roads, parks, habitat areas) are an important consideration to ensure a quality community. Therefore, the architectural treatments for these conditions shall incorporate architectural enhancements such as enhanced window treatments, moldings, balconies and other appropriate details.

**Floor Plans and Elevations:** For planning areas that include single-family detached homes, a range of floor plans and elevations shall be provided. A minimum of three (3) different floor plans is required for each planning area with a minimum of three (3) elevations required for all detached homes. Matching elevations should not be repeated adjacent to one another or opposite one another. For attached homes, a minimum of three (3) distinct architectural elevations are required for duplexes and triplexes. A minimum of two (2) elevations are required for fourplex or greater buildings unless approved by the Development Services Director or his /her designee due to unique design conditions.



**Cottage** is a picturesque style based on medieval Tudor and Norman domestic architecture. The cottage style became popular nationwide when stone and brick veneer techniques became practical.

**Form:** Rectangular form massing, often asymmetrical.

**Roof:** Main roof hip or gable with intersecting gable roofs:

**Colors:** Typically white, light tinted colors or light earth-tones.

**Details:** Entry accents with stone or faux stone, shutters, smooth stucco wall finish.

Figure 6-20  
Cottage Style Architecture Guidelines



**Inspired** by the English Arts and Crafts Movement of the late 19th century, the Craftsman Style was focused on artful details and generous use of wood and stone and brick.

**Form:** Rectangular form massing, often asymmetrical.

**Roof:** Simple 2 story massing with vertical and horizontal breaks.

**Colors:** Field are light to dark earth tones, trim is light to dark earth tones contrasting with field areas.

**Details:** Entry porches with square columns or posts on stone or brick piers. Shaped wood header trim at windows and doors. Wood and / or stucco siding.

**Figure 6-21**  
**Craftsman Style Architecture Guidelines**



A **blend** of Mission and Spanish revival periods, the Spanish Eclectic style is characterized by low pitched hip or gabled roofs, usually with little or no overhangs, and red tile roofs with light colored stucco walls, typically white. The design elements are often asymmetrical and include arches, balconies, patio's, and wood, wrought iron or stone decorative elements.

**Form:** Strong and simple massing, often asymmetrical.

**Roof:** Low pitched, hip or gable.

**Windows:** Combination of arched and rectangular, some with shutters.

**Colors:** Typically white stucco façade with red tile roofs.

**Details:** Wood and wrought iron/grills and pot shelves, use of decorative patterned tiles

Figure 6-22  
Spanish Eclectic Style Architecture Guidelines



**The** Monterey style is characterized by simple forms with extensive use of second story balconies, wood shutters and exposed wood rafter tails.

**Form:** Simple forms with use of second story balconies. Primarily stucco surfaces.

**Roof:** Low pitch, generally gabled, many with exposed rafter tails.

**Windows:** Generally unadorned, paired and recessed, usually vertical. Shutters with deep rich colors are common.

**Colors:** Contrasting shades of white, light and darker tans.

**Details:** Cast iron railings, wood accents.

**Figure 6-23**  
**Monterey Style Architecture Guidelines**

Window details are an important feature in any quality home design. As shown below, they should complement the architectural theme and take into consideration the function and hierarchy within the composition of the building's elevation.



Figure 6-24  
Window Guidelines - Residential

Porches and balconies add to both of the functionality and beauty of a house and provide a sense of enclosure and protection from the climate.



Figure 6-25  
Porches and Balconies Guidelines - Residential

Columns and posts can be functional, create interest. And reinforce the style of a home. As seen below, scale and size can vary and by doing so differentiate the appearance of each home.



Figure 6-26  
Columns and Posts Guidelines – Residential



①

① These examples illustrate quality, form, color and roof variation for a Motor Court Home oriented to a local street. All homes along A Street shall have an entry door from the street side.

② Homes without a front entry from the Motor Court that face a local street shall be enhanced along the entire elevation.



②



Figure 6-27  
Motorcourt Guidelines Res-M1



- ① Example of well articulated elevation with balcony.
- ② 10' minimum setback from sidewalk for 2-story building shown.
- ③ 8' minimum porch setback from sidewalk
- ④ Parkway is 6' wide with 4' sidewalk as required.

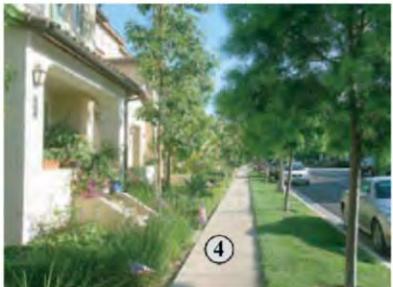
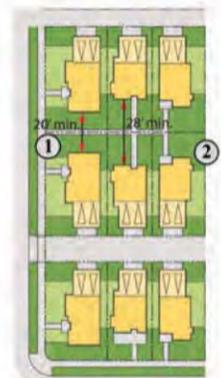


Figure 6-28  
Townhouse Guidelines Res-M1



Garden Courts



The minimum setback for Garden Court Homes are shown above:

1. Setback between buildings: 20' (28' between 3-story or more buildings.)
2. Setback between interior buildings: 28'
2. A limited turf area adds to the quality of the courtyard.

Figure 6-29  
Garden Court Guidelines Res-M1



Figure 6-30  
Garden Court Guidelines Res-M1



Minimum Setbacks to Sidewalks

- (A) 13 feet from sidewalk or back of right of way on A-B-street for 2-story, 10' other streets.
- (B) 5.8 feet to a covered porch.
- (C) 3 feet to a fence of max. 4 3'-0" tall if in setback area.
- (D) 6' wide parkway and curb and 4 foot sidewalk.

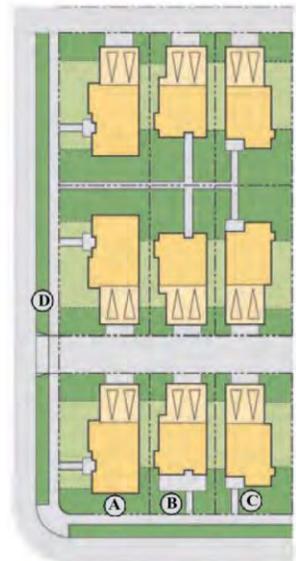


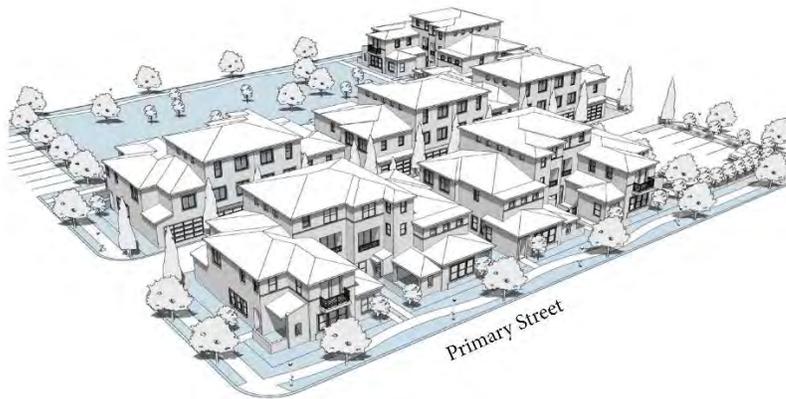
Figure 6-31  
Garden Court Guidelines Res-M1

## 6.8 Residential Mixed Use Objective Design Standards – Site Planning

As described in the Community Vision in Section 1.5, the objectives for the residential mixed use neighborhoods are to create an attractive, pedestrian-friendly, mixed use environment with the charm and character of many older California communities detailed in Section 6.3. The standards and exhibits below provide the methods to accomplish these objectives.

### Residential Mixed Use – Building Orientation and Layout

1. Building entries shall face the primary public street with pedestrian access provided from sidewalks to all building entries, parking areas, and publicly accessible open spaces. An exception, in the case of larger sites with multiple buildings, building entries may also be oriented to face internal common open spaces, paseos, and recreational amenities.



#### 1. Building entry orientation

2. A minimum of 60% of the street frontage shall be devoted to buildings located between the minimum and maximum front setback lines. The remaining 40% may be devoted to public courtyards, plazas, recessed entries, and driveways.
3. For buildings located across the street from single family residential and Res-M1 zoned lots, parking lot areas shall not be located along the single-family neighborhood street frontages.
4. If adjacent to single family residential or Res-M1 zoned lots, windows, balconies, or similar openings shall be oriented so as not to have a direct line of sight into adjacent units or onto private patios or backyards adjoining the property line. This can be accomplished through the following: step backs of upper stories; window placement; use of clerestory windows, glass block, or opaque glass; or mature landscaping within the rear or side setback areas or other techniques.
5. Ground-floor residential fronting or siding onto major and secondary arterial roadways (i.e. Valley Boulevard and San Bernardino Avenue)

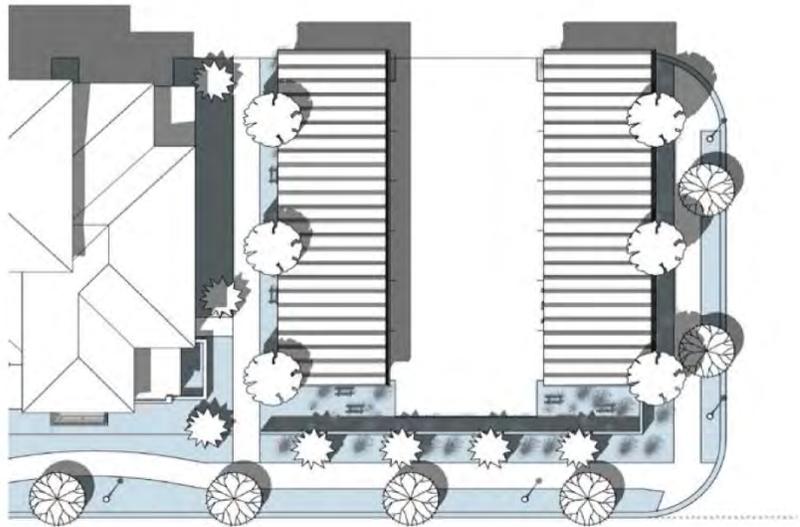
shall be elevated at least 24 inches (24") above the finished grade of the sidewalk.

6. Buildings shall be arranged so that they provide common open spaces as required in Chapter 4.0.



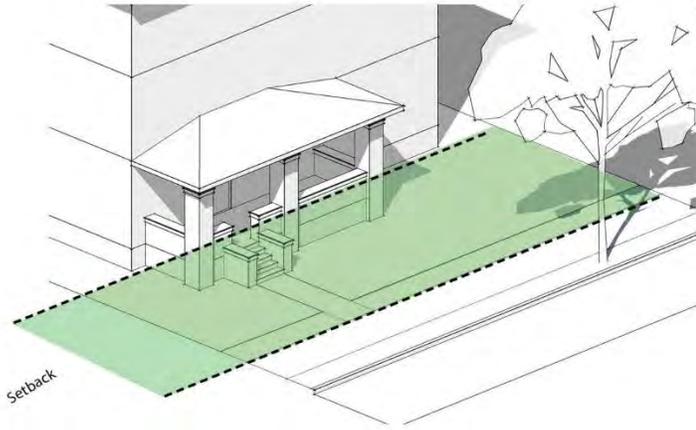
#### 6. Common open space

7. Surface parking shall be located to the sides and rear of the lot with building massing oriented to the street, to the greatest extent possible.



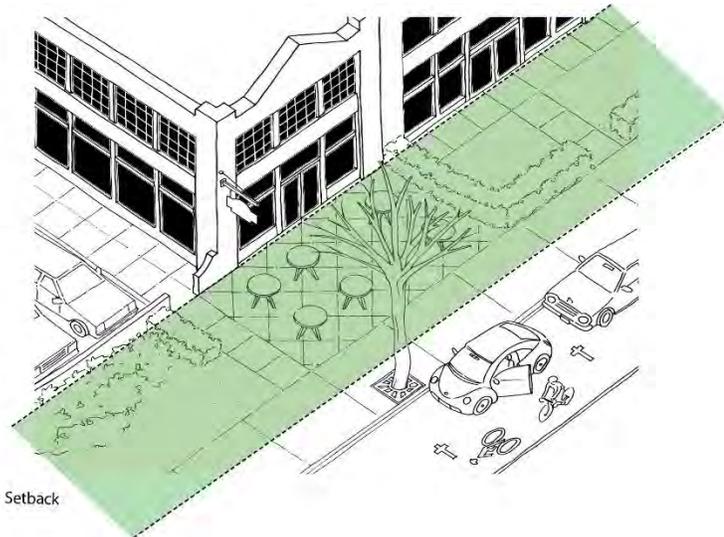
#### 7. Parking location

8. Setbacks
  - a. Buildings with ground floor residential are permitted landscaping and protrusions including stairs, a porch, a stoop, a patio, a terrace, a forecourt, a courtyard and/or low wall located between the minimum and maximum front setback lines to provide a transition space.



### 8.a. Ground-floor residential setback

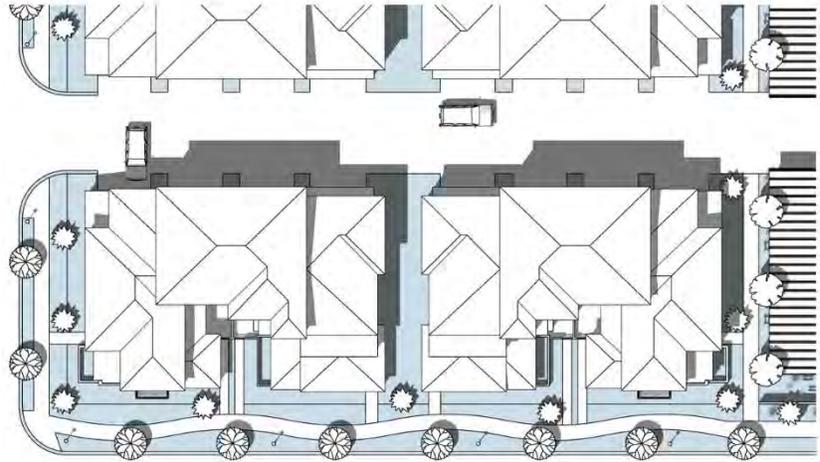
- b. Buildings with non-residential ground floor uses shall have usable and accessible open space between the minimum and maximum front setback lines that accounts for forty percent (40%) of the setback and may include paved pedestrian spaces for patios and outdoor seating or usable lawn space. Landscaping or a low wall may be permitted within the forty percent (40%) of the setback but may not occupy the entire setback.



### 8.b. Ground-floor non-residential setback

## Residential Mixed Use – Site Access and Parking

1. Main entries and lobbies shall be oriented toward and visible from the primary street frontages or open space areas that connect directly to the primary street.



Primary Street

### 1. Main entry orientation and visibility

- a. Where there are multiple buildings in a project or if the building is not located adjacent to a primary street, entries may also be oriented to internal circulation streets parking areas, internal pedestrian walkways, or common open spaces that connect directly to a street.



### 1.a. Alternative building entry orientation

2. Connections shall be provided between new projects and adjacent neighborhood streets and pedestrian and bicycle paths. Connecting streets shall be designed to discourage overloading traffic on existing streets.

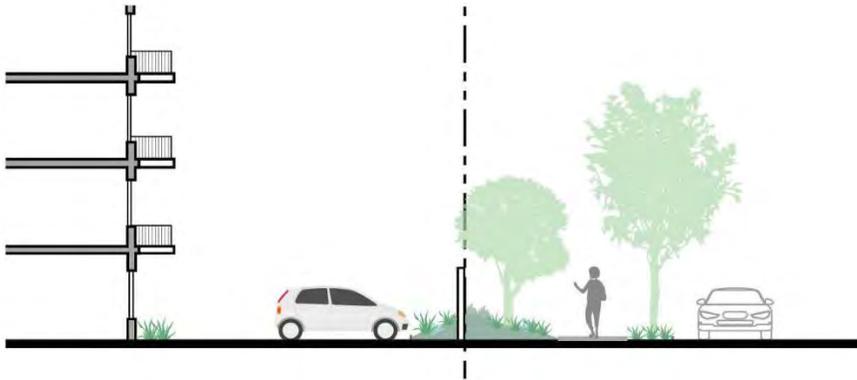
### 3. Building and Unit Entrances.

- a. Ground-floor unit entrances shall be accessed via an internal corridor, porch, stoop, patio, terrace, forecourt, and courtyard served by a sidewalk or other designated walkway.



#### 3.a. Ground-floor entrances

- b. Upper-floor unit entrances shall be accessed via an internal corridor to avoid long, monotonous balconies and corridors.
4. Pedestrian access shall be provided from the sidewalk at the street frontage to building entries and parking areas.
  5. Pedestrian connections shall be provided to adjacent amenities, paths or trails, and/or other connections to adjacent properties.
  6. All end parking stalls shall be adjacent to landscape planters as set forth in Chapter 4.0.
  7. Parking shall be screened from the street by landscaping, berms, low walls or fences, buildings or a combination of any two (2) as set forth in Section 6.10.



#### 7. Parking screening

8. No more than forty percent (40%) of the public right-of-way frontage shall be used for parking access or driveways.

9. Parking structures above ground shall be designed to meet the following standards:

- a. Be lined or wrapped with residential or commercial uses with a minimum depth of twenty feet (20') or the required active frontage depth for that location; or



**9.a. Parking wrapped with residential**

- b. Be designed and treated with the same level of architectural detail, material quality, and facade articulation as other facade areas and/or screened with landscape screening (e.g., shrubs, trees, landscaped trellises) and/or ornamental screens.



**9.b. Screened parking structure**

- c. Be below ground-floor residential or commercial units, garage walls shall not extend above finished grade. No portion of the parking structure shall be visible from a primary street.

10. Parking structures located on Valley Boulevard are limited to one (1) access point per 300 linear feet off Valley Boulevard, all other entries shall be limited to side or rear streets.

### Residential Mixed Use – Utilities and Trash Enclosures

- 1. All utility equipment shall be located out of the pedestrian path of travel and purposefully and aesthetically placed adjacent to alleyways, within parking areas, rear or side yards, or within building “notch outs” and screened from public view.

2. All electrical utility equipment, electrical meters, and junction boxes shall be placed within a utility room. If a utility room is not feasible, then all utility equipment shall be purposefully designed as an integral part of the building development, placed adjacent to alleyways, within parking areas, or within rear or side yards, and screened from public view.
3. Mechanical equipment shall be placed in the back of the unit and not visible from public view or screened with landscaping or placed on the roof and screened with architectural materials such as roof or parapet consistent with the overall architectural style.



### 3. Screened parking structure

4. Trash containers shall be stored within designated storage areas and located away from building fronts and major entries, and/or screened from view in fixed enclosures and comply with the City Zoning Ordinance Chapter 18.23.1.090.



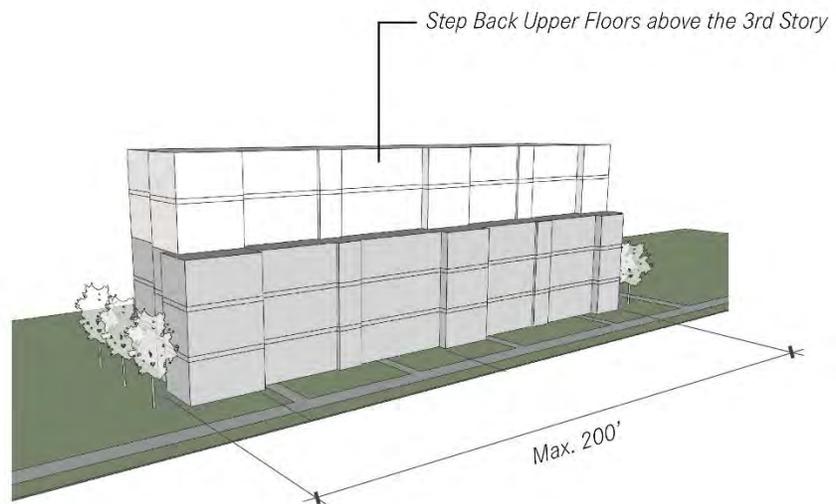
### 4. Trash enclosure screening

5. Enclosures shall be separated from adjacent parking stalls with a minimum four foot (4') wide planter area.

## 6.9 Residential Mixed Use – Building Design

### Residential Mixed Use – Building Form

1. The maximum length of any individual building shall be two hundred (200') linear feet, regardless of the number of units.
2. At least two different architectural styles, as defined in Chapter 6.7, shall be included in projects with more than ten (10) buildings.
3. For residential projects three stories or taller, the development shall use one or more of the following strategies:
  - a. Utilize roof forms and low pitches between 2:12 and 4:12 as detailed in Chapter 6.7;
  - b. Integrate the upper floor units into the roof form;
  - c. Step back upper floors above the third story; or
  - d. Use a different material on the top floor walls to visually make the building seem lower.



#### 1. & 3.c. Maximum building length & Step back

4. Buildings located at street corners shall include at least two of the following corner treatments:
  - a. **Change in Fenestration Pattern.** One (1) fenestration pattern (size, shape, and/or orientation or windows and doors) different from the rest of the façade.
  - b. **Change in material.** At minimum fifty percent (50%) of the corner area uses a different material than the rest of the building/façade.
  - c. **Change in Height.** A change in total height of at least four feet greater or less than the height of the abutting primary façade.

- d. **Roof Line Variation.** A different roof line than the rest of the façade.
- e. **Special Architectural Feature.** A special architectural feature such as a tower or cupola.



4.a.b.c.



4.d.e

### Residential Mixed Use – Height, Massing, and Articulation

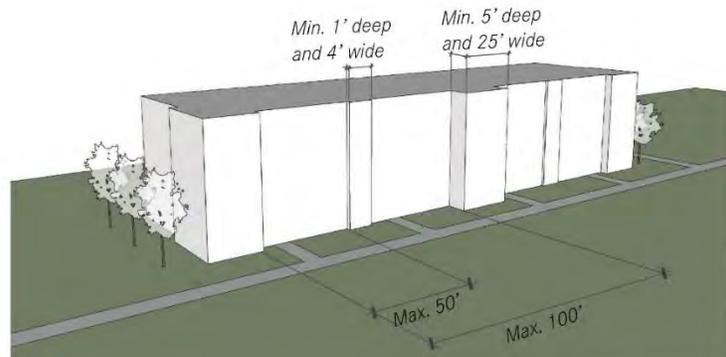
1. Where a residential development is three stories or less, the vertical massing of buildings shall be articulated to express each individual unit.
2. Structures three stories or more should emphasize horizontal planes through the use of trim, awnings, eaves, other ornamentation, or a combination of complementary colors.



#### 2. Horizontal planes

3. The upper story of buildings over two stories shall be stepped back at least four feet to reduce the scale of façades facing streets, courtyards, or open space areas.
4. Buildings over three stories shall have major massing breaks at least every one hundred feet (100') along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of five feet (5') deep and twenty-five feet (25') wide and extend the full height of the building.

5. Buildings shall have a minor massing breaks at least every fifty feet (50') feet along the street frontage through the use of varying setbacks, building entries and recesses, or structural bays. Minor breaks shall be a minimum of one foot (1') deep and four feet (4') wide and extend the full height of the building.



#### 4. & 5. Major and minor massing breaks

6. The street-facing front façades of buildings shall provide at least three of the following articulation elements that are at least twelve inches (12'') deep and spaced no more than thirty feet (30') apart:
- A covered porch;
  - A balcony;
  - A recessed entrance;
  - One or more dormer windows;
  - Columns, pillars, or posts;
  - Eaves projecting at least twelve inches (12'') from the façade plane;
  - Awnings or canopies;
  - Multiple windows with a trim at least four inches (4'') wide; or
  - Integral planters that incorporate landscaped areas or places for sitting.



#### 6. Building articulation

7. A clear separation between the ground floor and floors above shall be provided, which may consist of any of the following:
  - a. A line of awnings or canopies over ground-floor storefronts or windows;
  - b. A change in material;
  - c. A change in the scale of openings; and/or
  - d. A change in building plane, with the middle of the building either recessed from or projecting over the ground floor.

**7.b.c.****7.c.d.**

8. Ground floor walls along sidewalks or publicly accessible outdoor space areas, that are blank (facades without doors, windows, landscaping treatments, or public art) shall span no more than thirty feet (30') feet in length.

### Residential Mixed Use – Open Space

1. Open space areas shall not be located directly next to arterial streets, service areas, or adjacent commercial development so as to ensure these open space areas are sheltered from the noise and traffic of adjacent streets or other incompatible uses. Alternatively, a minimum ten foot (10') wide landscaping planter or hedge shall be provided as screening between the open space area and arterial street, service area, or commercial development.
2. Open space surfaces shall include a combination of lawn, garden, pavers, wood planking, concrete, or other serviceable surfacing. The slope shall not exceed ten percent (10%).

### Residential Mixed Use – Roof Forms, Entries, and Windows

1. Rooflines shall be broken at intervals no greater than fifty feet (50') in length without at least of the following:
  - Provide variation in roof forms including gabled, hipped, or flat with a parapet wall.
  - Provide variation in architectural elements, such as parapets, cornices, and chimneys.
  - Provide variation of roof height of at least 18 inches (18").

2. When nonresidential and residential uses are located in a vertical mixed use structure, separate pedestrian entrances shall be provided for each use.
3. Long, monotonous balconies and corridors that provide access to multiple units shall be avoided. Instead, access points shall be clustered.
4. Main building entries shall be defined by the use of architecturally compatible elements detailed and set forth in Section 6.7 including but not limited to one or more of the following: canopies, arches, arcades, columns, awnings, decorative lights, small entry plazas, and vertical massing.
5. Building walls along all street frontages shall have windows at all floors above ground level.
6. Windows shall be articulated with sills, trim, shutters, or awnings authentic to the architectural style of the building as set forth in Section 6.7.
7. Glass shall be clear with a minimum of eighty-eight percent (88%) light transmission. Mirrored and deeply tinted glass or applied films that create mirrored windows and curtain walls are prohibited. To add privacy, reduce glare, and provide aesthetic variety to glass, fritted glass, spandrel glass, electrochromic glass, solar control glass, and anti-reflecting glass are appropriate.

#### Residential Mixed Use – Garages

1. Garages shall not be located adjacent to the primary street unless there is no other driveway access available onsite for residential parking. Where visible by the public or by other residents, garage doors shall be recessed a minimum of four inches (4") and/or accompanied by projecting elements like porches, bay windows, trellises, architectural ornament, and/or landscaping.
2. Garage doors shall be designed consistent with the overall style of the building. Material, pattern, and color shall be coordinated with the architectural style as set forth in Section 6.7.
3. Garage entries, loading and service entries, utility rooms, stairs, elevators, and other similar inactive elements shall occupy no more than twenty percent (20%) of the width of a public street-facing building façade.

### 6.10 Residential - Site Landscape, Wall and Fence Guidelines

Each residential site shall be required to adhere to the minimum following guidelines and standards in addition to those listed in Section 4.0, Development Regulations, and other Sections of the CHCCSP.

Multifamily and Residential Mixed Use development with public and common area landscaping:

1. Provide landscaping in all public and private common areas within the project site or as otherwise required by the Development Services

Director. For private use areas enclosed by four feet (4') to six feet (6') high privacy walls or fences, separated by other similar architectural elements, no landscaping is necessary to be provided by the builder or developer.

2. Select plant materials for common areas from the Landscape Palette located in the Community Design Guidelines. Additional plant material may be selected if approved by the Development Services Director or his/her designee.
3. Provide a minimum of fifteen percent (15%) of the total site for common area landscaping. The fifteen percent (15%) is in addition to the landscape area within parkways between sidewalks and streets and any private yard areas enclosed by a wall exceeding a height of four feet (4').
4. Select street trees for public rights-of-ways that are consistent with the landscape sections and Community Design Guidelines provided herein. Provide 33% of total boxes at a minimum twenty-four inch (24") box size and 67% of total boxes at 15 gallon size for street trees in parkways between a sidewalk and curb shall. Street trees are not intended to be included to satisfy the minimum twenty percent (20%) for the common areas.
5. In common areas, provide the following minimums: fifteen (15) gallon minimum tree sizes, with twenty percent (20%) of all trees a minimum of twenty-four inch (24") box size and five percent (5%) of all trees a minimum of (36") box size.
6. All areas used for private patios may be screened with a four feet (4') to six feet (6') high masonry wall or vinyl fence material pursuant the Community Design Guidelines. However, if less than eight feet (8') occurs from a sidewalk to a wall where there are fronts or sides of homes adjacent to a public or private street, then the maximum wall height shall be three feet (3'). There shall be no less than two feet (2') of planting area depth from the face of any wall of any height to a sidewalk or other paved surface, in order to allow for plant materials such as vines and hedges to be planted.
7. No wood fences are permitted within the CHCCSP project area, except for use as access gates in residential areas. Other walls or fences, such as those manufactured with composite materials shall be subject to approval by the Development Services Director or his / her designee. Refer also to Section 4.0, Development Regulations, for additional wall and fence requirements within each land use category.

### Residential Privacy Walls and Fences

Where walls or fences occur for privacy between homes, along alleys adjacent to the open space areas, or on corner lots, provide a masonry or vinyl material that complements the building architecture. This includes slumpstone, split face block, stucco finished masonry walls, and vinyl fences. On masonry walls, provide a minimum three inch (3") high masonry caps. Refer also to Section 4.0, Development Regulations, for additional wall and fence requirements within each land use category.

For common refuse enclosures, they shall provide a separate gate for recycled material with a sign similar to the example that follows.



## 6.11 Community Entry Monuments, Walls and Fences

### 6.11.1 Entry Monument Guidelines

Community entry monuments are planned at several key locations as part of establishing an overall community identity. The design intent is to create a consistent theme and vocabulary of materials for all residential and commercial / business park areas. The Colton's Hub City Centre community name and / or logo is included on each monument. The name is subject to change in the future at the discretion of the City Council. Refer to Figure 6-32, Community Wall and Entry Monument Plan for locations of each of the monuments. Sketches and elevations of the monuments are referenced below.

#### Valley Boulevard and Pepper Avenue

The primary entry into the community occurs from the I-10 Freeway at Pepper Avenue. In order to create a dramatic entry statement and sense of arrival for the entire Specific Plan area, a combination fountain and monument is planned at the northwest corner of Valley Boulevard and Pepper Avenue. A rendering of the concept is shown in Figure 6-33.

#### Wildrose and Meridian Avenues at Valley Boulevard

Monuments shown in Figure 6-34 are located at these two key entry areas into Commercial / Business areas.

#### Indigo Avenue and N. Eucalyptus Avenue at San Bernardino Avenue

Entry monuments into the residential neighborhoods are shown in Figure 6-34. In order to reinforce an overall community identity, the same vocabulary of materials is used as in the Commercial / Business Park areas.

### 6.11.2 Community Wall And Fence Guidelines

#### Community Theme Wall

Community walls are located in residential areas along the project boundary and along streets based on traffic and / or noise considerations. Exceptions to community wall locations include open space boundaries and where easements

do not allow walls. As is the case with entry monuments, the intent is to establish a consistent theme of materials within the community. Refer to Figure 6-32 respectively for wall locations and types.

The height of community walls typically will be six feet except where necessary for noise attenuation. The Development Service Director may select the appropriate height, material and style of the community wall. Acoustical studies will be provided by applicants prior to any residential development to determine required wall heights.

In order to soften the character of walls and to provide a graffiti resistant surface along the public facing side of streets, vines such as Boston Ivy are recommended.

### Wood Fences

No wood fences are permitted within the CHCCSP, except for use as access gates to residential yards, up to three (3) feet high picket or similar type fences in front yards. All walls in residential development areas shall be a tan colored slump stone, split face block, or other equivalent material approved by the Development Services Director.

## 6.12 Community Streetscape Master Plan and Guidelines

Streetscapes play an important part in developing a distinctive community. Trees, shrubs and groundcovers within parkway, medians, and landscaped setback areas adjacent to the public rights of way all contribute to creating a unified and beautiful community. The streetscape design elements for the major and local streets within the CHCCSP are described below and illustrated in Figure 6-34, and Urban Management Forestry Plan, and Figures 6-35 through 6-39, Streetscape Sections. While specific tree types have been selected for each of the major streets, they may be revised by Development Services Director and his / her designee. In the event they are changed, it is recommended that the form and shape of each substituted tree be similar to those for the respective street tree in the Urban Management Forestry Plan.

All street trees within parkways, between the sidewalks and curbs, are intended to be planted with equidistant spacing versus informal groupings within the medians on Valley Boulevard, Pepper Avenue, and San Bernardino Avenues.

Trees are shown in informal groupings, which is already the case in existing segments of the Pepper Avenue median.

### Valley Boulevard

Parkway Trees: Chinese Pistache

Median Trees: Date Palms and Crape Myrtle

Chinese Pistache are broad dome trees, with leaves that turn burgundy in the fall and provide an excellent shade canopy. While the trees are deciduous during the winter, the Southern Magnolias in the median will provide year round foliage.

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Flowering Crape Myrtle trees are also included in the median and will provide summer color.

### Pepper Avenue

Parkway Tree: Australian Willow Median Trees: Date Palm and Jacaranda

On the east side of Pepper Avenue, within the public right-of-way and adjacent to the Arrowhead Regional Medical Center property, there exists a curb adjacent sidewalk and a variety of mature trees in the landscape area with groupings of California Pepper trees, among others tree varieties.

On the west side of Pepper Avenue that is part the Specific Plan, a new parkway and sidewalk is planned as development occurs. The Australian Willow an evergreen tree that forms a shade canopy tree is shown. It will complement the California Pepper trees along the Medical Center site without the high maintenance associates with the Pepper tree.

Jacaranda trees are presently located within the median and are intended to remain. Additional groupings of Date Palms, which provide year round foliage are shown to further enhance the streetscape.

### San Bernardino Avenue

Parkway Tree: Tipu Tree

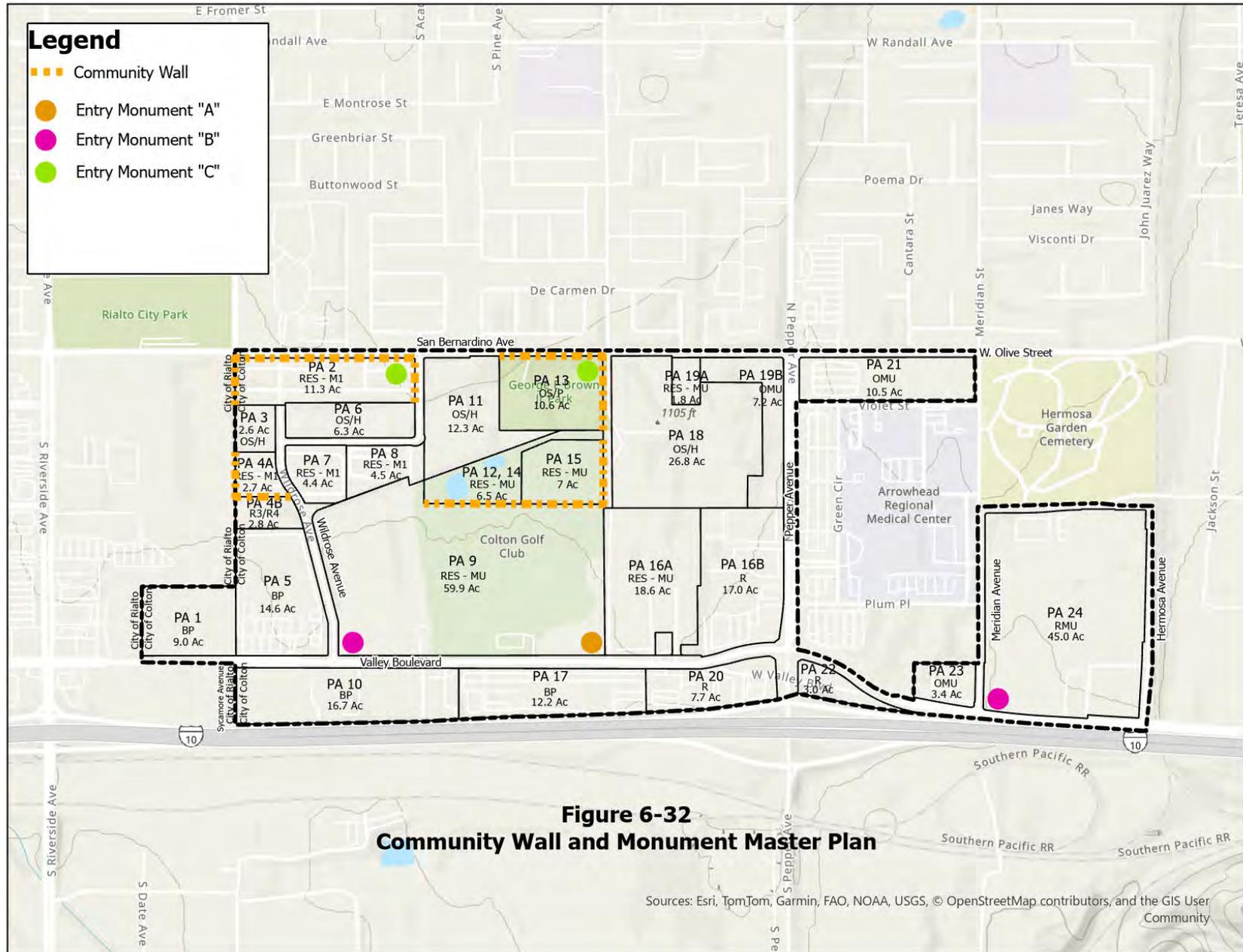
Median Trees: Camphor Tree and Crape Myrtle

The Tipu tree provides a broad dome deciduous tree with yellow summer flowers that provides an excellent shade canopy during the warmest seasons. While these trees are deciduous during the winter, evergreen Camphors in the median will provide year round foliage. The Crape Myrtles which flower during the summer will provide a seasonal accent.

Along residential areas, a landscaped setback area of five feet (5') minimum is required between the public sidewalk and the future community theme wall. (See Section 4.0, Development Regulations). Evergreen pines are recommended in this landscaped setback area to enhance the streetscape on San Bernardino Avenue and buffer the adjacent residential uses from the road.

### Meridian Avenue

Parkway Tree: Southern Magnolia: An upright evergreen tree with white flowers in the summer.





Example of cascading fountain.

**Figure 6-33  
Community Entry Monument A**



Entry Monument B



Entry Monument C

Figure 6-34  
Entry Monument Guidelines

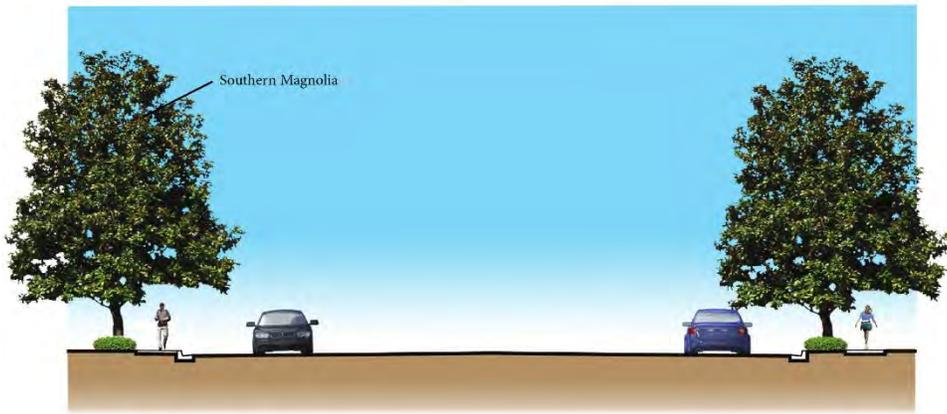


Valley Boulevard

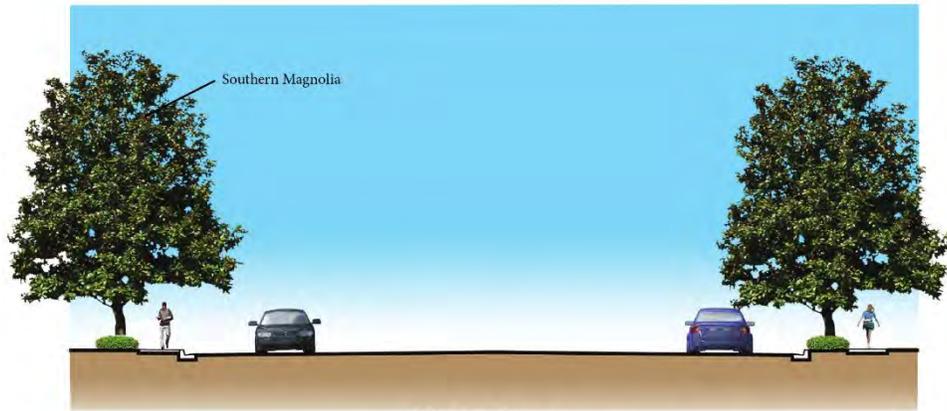


Pepper Avenue

Figure 6-35  
Streetscape Section



San Bernardino Avenue



Meridian Avenue

Figure 6-36  
Streetscape Section



Indigo Avenue / C Street



N. Eucalyptus Avenue

Figure 6-37  
Streetscape Section



Street A



Hermosa Street

Figure 6-38  
Streetscape Section



Wildrose Street A



Wildrose Street B

Figure 6-39  
Streetscape Section

### Indigo Avenue and C Street

Parkway Tree: London Plane Tree: An upright deciduous tree that provides excellent shade during the hot summer months.

### N. Eucalyptus Avenue

Parkway Tree: Evergreen Ash: An upright broad spreading shade tree.

### Street A

Parkway Tree: Tipu Tree: A broad dome shade canopy with yellow seasonal flowers.

Parkway Tree: London Plane Tree. An upright stately tree that provides excellent shade during the hot summer months.

These two streets are near mirror images of each other on the land use master plan and are intended to include similar street trees. The evergreen Southern Magnolia, a stately tree that is well adapted to the area, will create a strong streetscape character. It is evergreen year round and flowers during the summer months.

### Hermosa Street

Parkway Trees: Australian Willow: Similar leaf shape and character to a California Pepper, but much cleaner, less maintenance.

### Wildrose Street

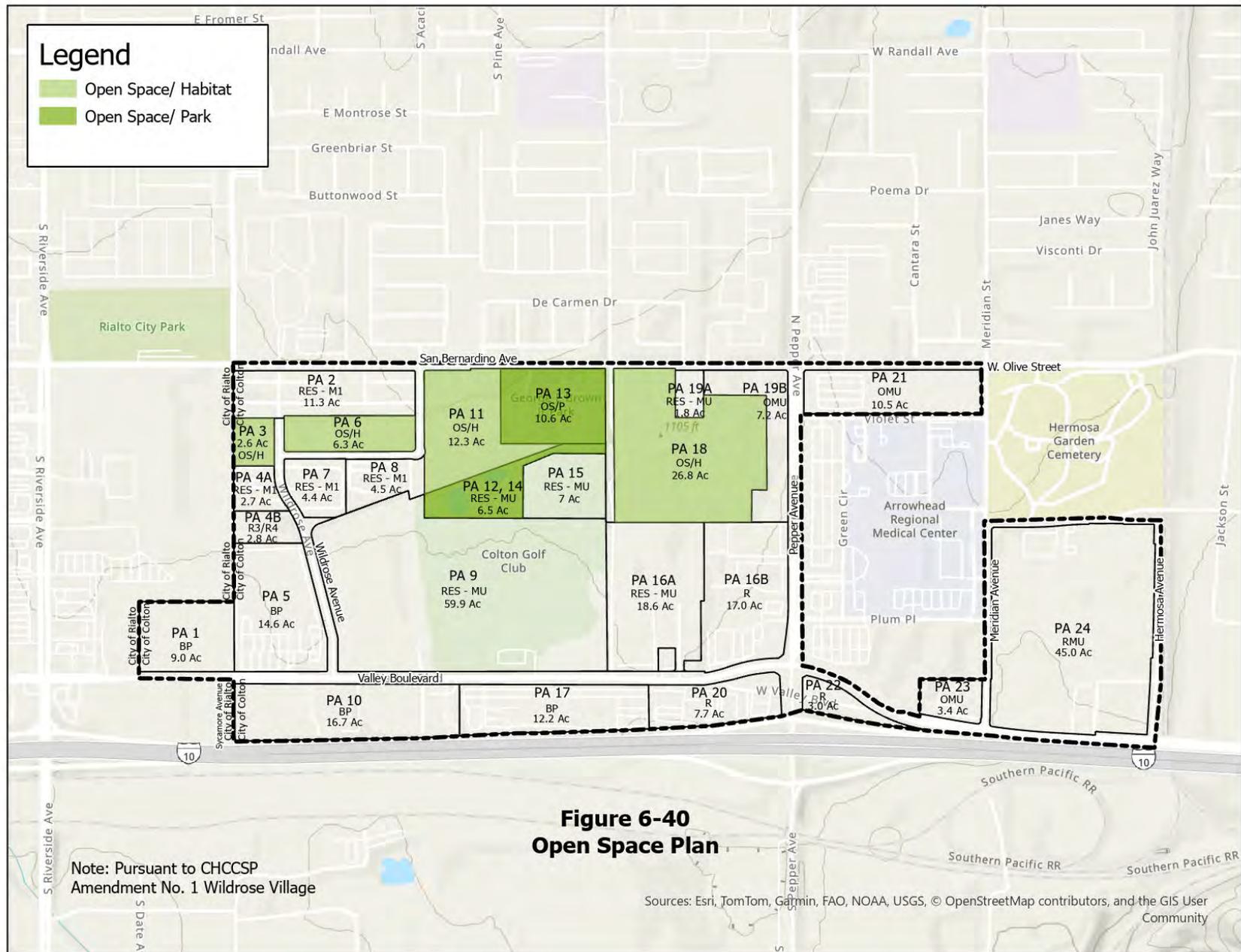
Parkway Trees: Australian Willow in residential areas to the north portion of the road and Southern Magnolia to the south in the Commercial / Business Park areas.

To differentiate commercial and residential areas, two trees are recommended with Southern Magnolia in the residential areas and Australian Willow in Commercial / Business Park areas.

## 6.13 Open Space Plan - Park and Habitat

A total of 48.4 acres of preserved habitat are provided in the plan in PA's 3, 6, 11 and 18. While they provide open space for the community, they are reserved for protection of the Delhi Sands Fly and are not intended for public use.

Planning Area 13 is the site of an existing stormwater basin to accommodate flows from the north –side of San Bernardino Ave. This 9.4 acre site also doubles as a park. The site is enclosed with a wrought-iron fence and gate along San Bernardino Ave, and chain link along the remaining three sides. The park includes playing fields in the basin, and a parking lot and concrete pads with picnic tables, outside the basin. Future improvements to this park would be governed by guidelines set forth in Section 6.0, Community Design Guidelines.



Refer to Figure 6-40 for the Open Space Plan that identifies the park and habitat areas. Park uses and design, including all recreational amenities to be included, are subject to change shall be subject to review and approval of the City Development Services director and / or his / her designee's. When developed, the park will be available for all city residents to enjoy.

### Outdoor Lighting Guidelines

All commercial and residential development shall have uniform lighting standards with regard to style, materials, and colors in order to ensure a consistent and unified design. Lighting within each land use type, e.g., retail, office, business park, residential mixed use and residential, shall create a unified theme. Figure 6-41 provides examples of lighting fixtures that establish an overall hierarchy and visual palette that is consistent with the design theme of the Colton's Hub City Centre Specific Plan Amendment (CHCCSP) project area.

All lighting fixtures in the CHCCSP area shall comply with the following regulations and provisions:

1. All outdoor lighting, including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed, and arranged to minimize or adjoining property.
2. Lights shall be break-resistant plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal proof.
3. Neon and similar types of lighting are prohibited in all areas except in Retail areas in conjunction with the entertainment center unless otherwise approved by the Planning Commission.
4. Community entry monuments, commercial and residential entry monuments, the major entry monument and fountain at the northwest corner of Valley Boulevard and Pepper Avenue, and public plazas in the retail site should be creatively lit to develop a sense of place and arrival.
5. All exterior lighting designs shall address safety and security. Parking lots and commercial building entrances shall be well lighted for security reasons to a minimum average of one footcandle, unless otherwise approved by the police department.
6. All exterior lights should be shielded where feasible and focused to minimize spill light into the night sky or adjacent properties.
7. No freestanding lighting fixtures shall exceed forty feet (40') in height, unless approved by the Development Services Director or his / her designee.
8. Service area lighting shall be contained within the service yard boundaries and enclosure walls.
9. All electrical meter pedestals and light switch / control equipment shall be located with minimum public visibility if possible or shall be screened with appropriate plant materials.



Residential Streets



Retail



Parking Lots

The following lighting examples establish an overall hierarchy and palette to create continuity within the community. Along local residential public and private streets, a fixture similar to the photo will create continuity and complement the overall community character. Within retail areas, include thematic lighting consistent with the architectural theme. For parking areas in all Business / Office and Retail areas, provide simple and elegant cut-off style fixture that will minimize glare.

**Figure 6-41**  
Lighting Guidelines

10. The level of on-site lighting as well as lighting fixtures shall comply with any and all applicable illumination requirements and policies of the City of Colton. Energy conservation including use of LED lighting systems should be emphasized when designing any light system.
11. All community landscape common areas, private facilities, streetscapes, and other use areas may contain accent or other night lighting elements subject to approval of the Development Services Director or his / her designee.
12. Pedestrian corridors shall be lit to ensure safe walking environments throughout the project area.

## 6.14 Landscape Planting Guidelines

### 6.14.1 Plant Material Guidelines

The quality and long-term appearance for all landscaped areas will depend on many factors including the initial selection of the plant materials, soil preparation and installation, irrigation management and care and maintenance. These guidelines apply to all public or private common areas that will be maintained by a landscape maintenance district, homeowners associations, or similar entity.

#### General Landscape Requirements

1. All areas required to be landscaped should be planted with turf, ground-cover, shrub and / or trees selected from the plant palette contained in these guidelines or as supplemented by the City of Colton Development Services Director or his / her designee. In general, the plant materials designs should provide a layered appearance, with lower growing plants in the foreground and larger growing plants in the background.
2. Cut slopes equal to or greater than eight feet (8') in vertical height and fill slopes equal to or greater than five feet (5) in vertical height shall be planted with a ground cover to protect the slope from erosion and instability. Slopes exceeding fifteen feet (15') in vertical height shall be planted with shrubs spaced not more than ten feet (10') average on center, or trees spaced not to exceed thirty feet (30') average on center, or a combination of shrubs and trees at equivalent spacing, in addition to the groundcover. The plants selected and planting methods shall be suitable for the soil and climatic conditions.
3. Reference should be made to the City of Colton Standards for erosion control methods for slopes and other landscaped areas.

#### Climate

The Plant material palette has been selected based on compatibility with the climatic conditions among other considerations discussed below.

#### Horticultural Soils Test Requirements

Soil characteristics within the site may be variable. The developers / builders for parcels that require landscape development within public areas shall procure a horticultural soils report in order to determine proper planting and maintenance

recommendations for proposed plant materials. Soils testing shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-planting and post-planting recommendations.

### **I**nvasive **S**pecies

Non-native invasive plant species shall not be used in landscape plans.

### **P**lant **P**est and **D**isease **C**ontrol

Diseases and pests can have deleterious affects on one or many plants, whether native or ornamental in origin. Recent pest and disease problems include oleander scorch blight and several eucalyptus problems, requiring that these specific varieties should be avoided. Other plants that today are without known problems may develop problems in the future. While there is no way to predict the occurrence of new pests or diseases there are useful methods to limit the impact of outbreaks and should be incorporated into final design plans for each project. These include the following:

1. Maintain optimum plant health through soil preparation, water management, and nutrient monitoring.
2. Review community plant material on a regular basis to observe health problems due to disease or pest infestation and take appropriate action.
3. Place plant material in appropriate planting areas and provide proper spacing consistent with the requirements of the plant species.
4. Place plants in similar hydro zone grouping to maximize efficient water use.

### **6.14.2** **P**lant **P**alette

The plant palette in Table 6.1 has been selected to create a unified and cohesive design theme for the community. Plants have also been selected for their appropriateness to climatic conditions, soil conditions, and concern for maintenance and water conservation.

Plant selections should take into consideration grouping of plants with similar cultural requirements in order to minimize water use and to provide conditions where plant material will thrive.

In the streetscape sections of the design guidelines, specific trees have been identified. In those cases, the intent is to illustrate the intended form and character that fulfills the design intent, i.e., evergreen versus deciduous, upright or vertical in form versus dome shaped. Should alternate selections be desired for any given street subject to approval by the Development Services Director or his / her designee, they should reflect the same form and character as those included in the streetscape sections. If alternates are selected for a particular street, the change shall apply to the entire streetscape for the area the change occurs and shall be approved by the Development Services Director or his / her designee.

### 6.14.3 Irrigation

All landscaped areas shall be watered with a permanent underground irrigation system, designed in a manner to ensure a minimum of 100% water coverage.

The combined summer elements of heat and wind shall be taken into account to assure proper irrigation design and equipment selection.

Irrigation controllers shall have a minimum time setting of one minute and be capable of providing multiple repeat start times. All irrigation heads adjacent to walks, drives, and curbs (car overhangs) shall be of the pop-up type.

All landscaped areas shall be watered with a permanent underground irrigation system, designed in a manner to ensure a minimum of 100% water coverage.

The combined summer elements of heat and wind shall be taken into account to assure proper irrigation design and equipment selection.

Irrigation controllers shall have a minimum time setting of one minute and be capable of providing multiple repeat start times. All irrigation heads adjacent to walks, drives, and curbs (car overhangs) shall be of the pop-up type. Irrigation backflow prevention devices and controllers shall be located with minimum public visibility or screened with appropriate plant materials.

#### Water Conservation Measures

1. Drip and / or bubbler irrigation should be utilized where appropriate.
2. Use of moisture sensors and / or central control irrigation systems should be incorporated where appropriate and feasible.
3. For all areas to be publicly maintained, irrigation systems shall be designed per City guidelines.

#### General Requirements

Irrigation systems and plans shall be prepared pursuant to the respective landscape maintenance district guidelines and / or City of Colton ordinances.

**Table 6.1 – Plant Materials List**

<b>TREES</b>	
<b>Botanical Name</b>	<b>Common Name</b>
Acacia subporosa	Weeping acacia
Arbutus unedo	Strawberry tree
Betula albo	White birch
Brachychiton populneus	Bottle tree
Cedrus deodora	Deodar cedar
Cinnamomum camphora	Camphor tree
Cupaniopsis Anacardioides	Carrot Wood
Cupressus sempervirens	Italian cypress
Eucalyptus spp.	Eucalyptus
Fraxinus uhdei	Evergreen ash
Koelreuteria spp.	Flame tree
Lagerstroemia spp.	Crape myrtle
Liquidambar styraciflua	Liquidambar
Liriodendron tulipifera	Tulip tree
Magnolia grandiflora	Magnolia
Olea europaea (fruitless)	Fruitless olive tree
Pinus spp.	Pine
Pistacia chinensis	Chinese pistache
Platanus acerifolia	London plane tree
Platanus racemosa	Sycamore
Podocarpus gracilior	Fern pine
Prunus spp.	Flowering peach
Pyrus spp.	Ornamental pear
Quercus agrifolia	Coast live oak
Quercus spp.	Oak spp.
Rhus lancea	African sumac
Robinia pseudoacacia	Locust
Salix babylonica	Weeping willow
Schinus molle	California pepper
Tipuana Tipu	Tipu tree
Ulmus parvifolia	Chinese elm
Zelkova serrulata	Sawleaf zelkova

<b>GROUND COVERS</b>	
<b>Botanical Name</b>	<b>Common Name</b>
Acacia redolens 'desert carpet'	Dwarf trailing acacia
Arctostaphylos 'John Dourley'	John Dourley manzanita
Ceanothus griseus hor 'yankee point'	California lilac
Fragaria chiloenses	Wild strawberry
Gazania rigens	Clumping gazania
Hypericum Calycinum	Hypericum
Lonicera Japonica	Halls Honeysuckle
Myoporum species	Myoporum
Rosemarinus officinalis species	Rosemary
Turf grasses	Various drought tolerant varieties

Table 6.1 - Continued

<b>SHRUBS</b>	
<b>Botanical Name</b>	<b>Common Name</b>
Abelia spp.	Abelia
Agapanthus sp.	Lily of the Nile
Arctostaphylos sp.	Manzanita
Baccharis sp.	Desert broom
Ceanothus sp.	California lilac
Cistus spp.	Rockrose
Cotoneaster species	Cotoneaster
Dietes Veseta	Fortnight lily
Elaeagnus pungens	Silver berry
Escallonia fradesii	Pink escallonia
Euryops pectinatus	No Common Name (NCN)
Feijoa sellowiana	Pineapple guava
Grevillea Noelli	NCN
Grewia caffra	Lavender starflower
Hemerocallis species	Daylily
Heteromeles arbutifolia	Toyon
Iris douglasiana	Douglas iris
Juniperus torulosa	Hollywood juniper
Juniperus h. Bar Harbor	Bar Harbor true juniper
Lavandula spp.	Lavenders
Ligustrum spp.	Privet
Moraea bicolor	Fortnight lily
Myrtus communis	True myrtle
Nandina spp.	Heavenly bamboo
Ornamental grasses	Fountain grass
Phormium tenax	New Zealand flax
Photinia fraseri	Photinia
Pittosporum tobira	Mock orange
Plumbago auriculata	Cape plumbago
Pyracantha species	Firethorn
Rhapiolepis spp.	India hawthorn
Rosa californica	California wildrose
Salvia spp.	Sages
Taxus baccata	English yew
Tulbaghia Violacea	Society garlic
Xylosma congestum	Shiny xylosma

<b>VINES</b>	
<b>Botanical Name</b>	<b>Common Name</b>
Distictis buccinatoria	Blood red trumpet vine
Ficus repens*	Creeping fig
Grewia caffra	Lavendar star flower vine
Mac Fadyena unguis-cati*	Cat's claw vine
Parthenocissus tricuspidata*	Boston ivy
Wisteria floribunda	Wisteria

\*One of these vines shall be used on the masonry walls of trash enclosures.

# SECTION 7

## ADMINISTRATION

### 7.0 Administration

The procedures for implementation and administration of Colton's Hub City Centre Specific Plan (CHCCSP) are as follows:

#### 7.1 Colton's Hub City Centre Specific Plan (CHCCSP) Adoption and Applicability

The CHCCSP is a regulatory plan, which upon adoption will constitute zoning of the property. Development plans, tract or parcel maps, precise development plans or other actions requiring ministerial or discretionary approval within the boundaries of the project (except as relates to existing public school uses), must be consistent with the CHCCSP. Actions deemed to be consistent with the CHCCSP shall be deemed to be consistent with the City of Colton General Plan as mandated in California Government Code Section 65454. Should the regulations contained herein differ from the regulations of the City of Colton Zoning Ordinance, Title 18 of the Municipal Code, the regulation of the CHCCSP shall take precedence.

#### 7.2 Implementation

The CHCCSP shall be implemented through the processing of tract maps, parcel maps, site plans, conditional use permits or related processes. The implementation process, as described below, provides the mechanism for review of these documents to assure there is development consistency with the CHCCSP goals and objectives, land use, community design and development regulations.

### 7.2.1 DEVELOPMENT REVIEW PROCESS

Tentative Tract Maps, Parcel Maps and Site Plans or other applications for development within the CHCCSP area shall be submitted to the Development Services Development Services Director or his / her designee, or as otherwise determined by the Director, for review and processing for all projects. They shall be reviewed by the City for consistency with the Land Use Plan and all other provisions set forth in this document.

### 7.2.2 CONVEYANCE MAPS

In certain cases, there may be a need by property owners to parcelize their properties to conform to the Specific Plan land use boundaries or for other purposes. For example, one large property ownership may be designated for two or more different land uses such as retail and residential. In this case, the owner may be interested in legally dividing the parcel(s) but not be interested in developing any buildings, roads or other infrastructure at the time. In such cases, a Parcel Map or Tract Map for conveyance purposes or financing purposes, may be processed under the same application and process as a Tentative Tract Map. However, since no building or infrastructure approvals are requested, the applicant would not be required to include any grading, sewer or water plans, other than property boundary information and related requirements, e.g., legal description, etc. In addition, no bonding or security would be required except for final monuments. For any such Maps, a condition of approval would be placed on the Map indicating it is for conveyance or financing purposes only. In all cases, the Subdivision Map Act requirements will prevail, including assurances that all parcels that are to be divided will have legal access acceptable to the City of Colton.

## 7.3 PROCEDURES FOR PROJECT REVIEWS, APPROVALS, AND AMENDMENTS

The following procedures are to be used for the review and approval of development applications for individual planning areas, and to establish the requirements for making changes or additions to the Colton's Hub City Centre Specific Plan (CHCCSP).

### 7.3.1 PLAN APPROVAL

The City of Colton's development review procedures shall be employed for project implementation as described in the City of Colton Zoning Ordinance, Chapter 18.58, Administration, except as amended herein.

Housing developments in which at least 20 percent of the units are affordable to lower income households and that are located on sites that been rezoned to accommodate the lower-income RHNA shall be allowed by right. Pursuant to California Government Code Section 65583.2(i), by rights mean that no conditional use permit, planned unit development permit, or other discretionary local government review or approval that would constitute a "project" for purposes of Division 13 (commencing with Section 21000) of the Public Resources Code shall be required.

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### 7.3.2 DESIGN REVIEW

All projects in the CHCCSP are required to be reviewed and approved (or recommended for approval to Planning Commission) by the City Development Services Director or his / her designee (See Section 18.58.030(c)(3)) of the Municipal Code. The CHCCSP Design Guidelines and Objective Design Standards shall be used by the City of Colton's Development Services Director or his / her designee to review each builder's proposal for conformance with the overall community design objectives.

All projects that meet the RES-MU objective design standards and development regulations shall be processed ministerially, with the exception of projects that meet one or more of the three criteria below, for which Architectural and Site Plan Review by Planning Commission is required.

- Projects that have buildings longer than 200 feet.
- Projects that have a density greater than or equal to 31 du/ac.
- Master Planned projects that are larger than 10 acres in area.

In addition to any standard City requirement for Site Plan or Design Review submittals, the following areas shall be addressed in any applicants submittal.

#### SITE PLANNING/LANDSCAPING

1. Building orientation / placement
2. Garage design and placement
3. Access and circulation
4. Parking areas
5. Site planning and design
6. Landscaping, private parks and open space as appropriate
7. Landscaping theme for project and for development edge
8. Plant materials that are drought tolerant
9. Fencing /screening / buffering
10. Perimeter and interior walls and fencing
11. Lighting for buildings, streets, alleys, parks or other common areas
12. Utilities and ancillary equipment
13. Fire safety access
14. Pedestrian connections
15. Streetscape design
16. Entry treatments

#### BUILDING DESIGN

1. Architectural styles for residential and residential mixed use (i.e., Monterey, Craftsman, etc.)
2. Architecture design and styles for commercial uses e.g., Retail, Office, Business Park, Hospitality
3. Preliminary design including elevations of all four sides of buildings

4. Building massing, form and scale
5. Roof pitch
6. Windows and doors
7. Materials and colors
8. Signage consistent with the overall community character
9. Equipment screening

#### PROJECT SUBMITTAL

The findings below apply to all land use applications and are in addition to the findings required for approval of respective development applications (tract maps, architectural and site plan approvals, conditional use permits, etc.) by the City Zoning Ordinance. The findings are intended to ensure that the relationship of the proposed development layout, uses and building designs with respect to existing and future adjacent development are considered in the overall design of every land use application.

It is incumbent upon the applicant to supply the necessary materials, text and graphics to allow the City to make the required findings. The City may establish specifications for these submission requirements that augment standard City submittal requirements.

#### FINDINGS

1. The project complies with all provisions of the Colton's Hub City Centre Specific Plan.
2. Areas intended for public use, such as public parks, recreational facilities and open space, are coordinated among neighborhoods and that the streetscape, landscape, hardscape and public amenities are mutually compatible.
3. The development proposal complies with the applicable community design guidelines of the CHCCSP, any applicable subsequent design guidelines and is compatible with surrounding areas, including, but not limited to building design and placement, colors, materials, height, and massing.
4. Consideration and application of public safety and security are incorporated into the project design.
5. Sustainability and conservation of resources are adequately addressed.

#### 7.3.3 OBJECTIVE DESIGN STANDARDS FOR RESIDENTIAL MIXED USE PROJECTS

##### SENATE BILL 35 (SB 25)

SB 35 requires cities and counties to streamline review and approval of eligible affordable housing projects through a ministerial process, exempting such projects from environmental review under the California Environmental Quality Act ("CEQA"). This process does not allow public hearings to consider the merits of the project; rather only design review or public oversight of the development is allowed, which must be objective and strictly focused on assessing compliance

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with criteria required for streamlined projects as well as objective design review of the project (Section 65913.4(c)(1)).

SB 35 requires the availability of a streamlined ministerial approval process for multifamily residential developments in jurisdictions that have not yet made sufficient progress toward meeting their regional housing need allocation (RHNA) goal for construction of above-moderate income housing and/or housing for units below 80% area median income (AMI).

As a part of this streamlining process, cities are required to establish objective design standards for multifamily residential development. Projects eligible for SB 35 streamlining include multifamily infill developments with a portion of affordable units. They must be consistent with underlying zoning and be evidenced to have no human health impacts or impacts to natural or historical resources.

Objective design standards for projects in the Res-MU zone are located in Chapter 6.0 of this document.

#### SENATE BILL 330 (SB 330)

Senate Bill 330 Housing Accountability Crisis Act of 2019 provides for a faster housing project review process. It states that all local governments must provide a preliminary application for housing development projects seeking vesting rights. The application allows applicants to provide a limited subset of information on the proposed project. After submitting the preliminary application to the local agency, applicants have 180 days to submit a full application or the preliminary application will expire.

SB 330 also established time limits for final application review. The law states that “Not later than 30 calendar days after any public agency has received an application for a development project, the agency shall determine in writing whether the application is complete.” SB 330 provides for an applicant appeal process, and limits review of the appeal by the jurisdiction to 60 days.

#### APPLICABILITY

Objective Design Standards set forth in Section 6.8 apply to new Res-MU development proposals within the boundary of the Specific Plan. According to the parameters set forth by Senate Bill 35, the Streamlined Ministerial Process shall be available to proposed projects having at least 10% of units priced to be affordable to households making at or below 80% of the Area Median Income level (AMI), prior to calculating any density bonus.

The project site must meet the “infill” requirements set forth in the California Government Code Section 65913.4 and be zoned for residential or mixed-use development. The applicant must also demonstrate that the site is not within Prime Farmland, or farmland within statewide importance, wetlands, a very high fire hazard severity zone, an earthquake fault zone, special flood hazard area, protected habitat area, or a conservation easement.

#### 7.3.4 PLAN CONSISTENCY:

Following approval of a site plan, tract map or other application for development, (collectively referred to as the Plan) if any changes are proposed regarding the location or alteration of any use, boundary, structures or other substantive change shown on an approved Plan, a revised Plan shall be submitted to the Development Services Director or his/her designee, for approval. If the Development Services Director or his/her designee determines that the proposed revision is in substantial conformance and complies with the provisions of the CHCCSP document and the general intent of the approved Plan, the revised Plan may be approved without resubmittal to the approval process described in the above Section. Such decision shall be posted on the City bulletin board and be final unless appealed to the City Council within ten (10) days from the date of such posting.

#### 7.3.5 MASTER PLAN REQUIRED FOR RETAIL (R), RETAIL MIXED USE (RMU), OR OFFICE MIXED USE (OMU):

Any application for R uses in Planning Areas 16, 20 or 22, RMU uses in Planning Areas 24, and Office Mixed Use (OMU) in Planning Areas 19B, 21 and 23, shall include a Master Plan for the entire respective planning area. The Master Plan shall be provided prior to building design reviews by the City. The objective of this Master Plan is to ensure that any proposed plan by an applicant for any one location or portion of a Planning Area is: 1) designed in a cohesive manner with adjacent areas, 2) provides vehicular and pedestrian access to adjacent sites and major roadways, and 3) is consistent with all Community Planning and Design Principles in Section 2.0 and other design guidelines and development regulations in other Sections of this Specific Plan. All Master Plans are subject to approval by the Planning Commission.

It is understood an applicant may not own all the properties in a given Planning Area, and / or he may not have any agreements to acquire or lease all acres within that Planning Area. In such cases, the Development Services Director or his / her designee shall determine the extent of involvement, if any, of other property owners, e.g., whether meetings with adjacent or nearby property owners are necessary. That decision shall be made on case by case basis.

For an applicant's parcel, the Master Plan shall identify: 1) the proposed building pads and / or conceptual building footprints, 2) parking areas based on the required number of parking stalls in Section 4.0 and / or applicable city codes, and 3) the locations for vehicular and pedestrian access for ingress and egress to the subject site and to adjacent parcels and to roads shown in the Circulation Plan in Figure 4-1. For parcels in the same planning area other than those of the applicant, the Master Plan shall conceptually identify all the same elements as above. Only general areas for parking need to be shown, not parking stalls. Instead, general boundaries of parking areas may be shown.

Special features identified in the Community Design Guidelines, such as an entry monument and fountain on the corner of Pepper Avenue and Valley Boulevard, shall also be shown conceptually in the Master Plan for Planning Area 16. Within Planning Area 16, a police substation may be required in any Master Plan based on Police Department recommendations.

It is strongly recommended that prior to filing, the applicant discuss with the Development Services Director or his / her designee, the appropriate scale of the plan and any additional information that may be required. Based on the applicants Master Plan submittal, a review by city staff shall be provided and comments submitted to the applicant. If revisions are required, the applicant shall re-submit the Master Plan to address staff comments to the satisfaction of the Development Service Director.

### 7.3.6 MINIMUM AND MAXIMUM RESIDENTIAL DENSITY RANGES:

Minimum and maximum density ranges are provided for each residential land use category and are shown in Section 3.1, Table 3.2, Land Use Summary. A “Target Dwelling Unit” and “Target Density” total is also shown for each residential planning area. The Target Dwelling unit totals were based on multiplying the total acres of each planning area by the Target Density.

The total number of dwelling units (DU) proposed for any residential planning area is permitted to have fewer units than shown in Table 3.2, Planning Area Summary, under “Target DU” and may be less than the Target Density.

The total number of dwelling units proposed for any planning area may or may not be permitted to have a greater number of DU than the “Target DU” number. Provisions for exceeding the Target DU require an additional step described below under density transfers. Projects in the RES-MU zone are exempt from the provisions of the target density transfer.

In all cases, the total DU for any planning area may not exceed the maximum density permitted of the respective land use category. For example, 118 DU is the Target for PA 2 and 158 is the maximum number of DU permitted. This maximum number is determined based on multiplying the total site net acres by the maximum density of 14 du / ac. (11.3 acres x 14 du / ac.)

Should the total requested dwelling units by an applicant exceed the “Target DU”, however, a request for greater than the target number of dwelling units requires additional steps as described below under Target Density Transfers (TDT) in order to assure the total CHCCSP does not exceed its permitted maximum total of 4,156 dwelling units.

#### TARGET DENSITY TRANSFER:

A “Target Dwelling Unit (DU)” total is included for each residential Planning Area in Section 3.0, Table 3.2, Planning Area Summary. The maximum permitted DU in the CHCCSP is 4,156. During the site planning and / or tentative tract map stages of design, the actual number of dwelling units requested by an applicant within a particular planning area may differ from the target number shown in the Planning Area Summary. The total number of dwelling units for any individual planning area may exceed the “Target DU” subject to the following conditions:

- The written approval of the property owner(s) or their designated representative of the planning area(s) affected by a commensurate reduction in the target number of dwelling unit totals must be provided. However, if said property owner(s) previously submitted an application which includes

fewer dwelling units than is included in the “Target” number of that property owners respective residential planning area(s), and such application was approved by the Planning Commission, then such approval of the application shall be deemed as that owner’s approval.

- In such cases, the planning area for which an approval was granted by the Planning Commission, shall be deemed to be the new final total permitted dwelling units in that planning area. In this case the Development Services Director or his / her designee shall have the discretion to assign the unused dwelling units to any other residential planning area.
- The assignment of dwelling units to another residential planning area shall be based upon a first come first served basis, providing: 1) a completed application in accordance with city requirements is submitted by the owner or his authorized representative to the City that specifies the total dwelling units requested, 2) it meets all development regulations and other applicable standards and guidelines of this Specific Plan and, 3) it is approved by the Director of Development Services.
- Within ninety (90) days of said acknowledgment by the Development Services Director or his / her designee, the applicant shall submit a tentative tract map and site plan pursuant to all City requirements. If such tentative tract map is not submitted or is deemed incomplete, the Development Services Director or his / her designee shall, in his or her sole discretion, be able to assign any unused dwelling units to the next applicant requesting an increase with the same provisions.

### 7.3.7 COMMERCIAL BUILDINGS – PERMITTED TOTAL SQUARE FEET:

Each planning area designated for all commercial Retail, Office, Business Park, Hospitality uses contains a projected amount of building square footage which is included in the CHCCSP EIR Traffic Study. During the refined site planning and tract map stages of design, the actual amount of square feet requested by an applicant in a particular commercial planning area may differ from the amount shown in the Traffic Study. If an increase to the square feet of gross building area exceeds the total listed in the Traffic Study within a planning area, the Development Services Director or his / her designee may permit such an increase up to five percent of the total allocation provided in the Traffic Study. Increases above the five percent shall require approval of the Planning Commission. In all cases where changes are requested to increase the projected amount of square feet in any planning area, the Development Services Director or his / her designee shall determine whether subsequent environmental review and/or studies are required, including but not limited to traffic studies and acoustical studies.

### 7.3.8 SPECIFIC PLAN AMENDMENTS:

Amendments may be requested at any time pursuant to Section 65453(a) of the Government Code. If the Development Services Director or his / her designee deems the Amendment major, it will be processed in the same manner as the original Specific Plan.

Depending upon the nature of the proposed Specific Plan Amendment, a supplemental environmental analysis may be required, pursuant to the California Environmental Quality Act (CEQA), Section 15162. If required, it is the applicant's responsibility to provide an analysis of the impacts of the amendment relative to the original EIR.

#### 7.3.9 FINDINGS FOR APPROVAL OF SPECIFIC PLAN AMENDMENTS:

In considering approval or disapproval of Specific Plan Amendments, the City Council shall find that the proposed Amendment is in compliance with the following:

1. The proposed Amendment is consistent with the General Plan and its Elements in effect at the time of submission.
2. The proposed Amendment does not result in an incompatibility with surrounding land uses with respect to use, development standards, density, or issues of health, public safety or general welfare.
3. The proposed Amendment is consistent with the overall design character and general community structure of CHCCSP.
4. The proposed Amendment, with appropriate mitigation measures, is not likely to increase environmental impacts beyond those identified and mitigated in the EIR, or substantially and avoidably injure significant wildlife, or their habitat.

#### 7.3.10 MINOR MODIFICATIONS:

The following minor modifications to the CHCCSP do not require a Specific Plan Amendment but are still subject to review and approval by the Development Services Director or his / her designee. The Development Services Director or his/her designee shall, however has the discretion to refer any such request for modification to the Planning Commission.

1. Final facility sizing and precise location of water, sewer and storm drainage improvements when directed by the City Engineer and Director of Water / Wastewater.
2. Change in utility and / or infrastructure servicing agency.
3. Arterial, collector or local road alignment revisions when the centerline moves by less than one hundred feet (100') providing the planning areas that are affected do not change more than five percent in total area.
4. Alignment of pedestrian walks and / or off-street bike lanes.
5. Decrease in project density for up to one land use category. For example the RES-M1 category (5.1 to 14 du / ac.) may be reduced to Res M (0-5 du / ac.). In such a case the development standards for the reduced land use category shall apply.
6. Adjustment of individual planning areas so long as the total acreage of that planning area does not decrease or increase by generally more than five percent of the stated acres within the CHCCSP.

7. Minor landscape changes with respect to plant material types, wall materials and general locations.
8. Modifications to Community Design Guidelines, with respect to minor variations within the particular architectural style, landscape features, plant palette, walls and entry monuments, subject to review by the Development Services Director.
9. Changes in park and recreation facilities, subject to concurrence by the Development Services Director.
10. Specific modifications of a similar nature to those listed above, which the Development Services Director or his / her designee deems minor, which are in keeping with the intent of the CHCCSP and which are in conformance with the General Plan, subject to concurrence by the Community Services Director.

#### 7.3.11 EFFECTIVE DATE:

All Amendments per this Section adopted by ordinance shall take effect thirty (30) days after adoption of the second reading by the City Council.

## 7.4 NONCONFORMING STRUCTURES AND LOTS

### 7.4.1 PURPOSE AND INTENT

This section establishes uniform provisions for the regulation of legal nonconforming uses, structures and lots. Within the zoning districts established by this CHCCSP, certain land uses and structures were legally established under the requirements of the Colton Municipal Code or prior specific plans that may be prohibited, regulated, or restricted differently under the terms of this Specific Plan Amendment or any subsequent amendments of it.

The CHCCSP discourages the long-term continuance of these nonconformities and encourages their abatement. However, this Specific Plan Amendment includes provisions to permit these nonconforming uses to be expanded or redeveloped if certain conditions are met. Nonconforming uses and structures shall not be enlarged, expanded, or extended, except as expressly stated in this section, nor shall the existence of a nonconforming use or structure be a determining factor for adding other uses or structures allowed in the same land use district.

### 7.4.2 DEFINITIONS

The following definitions shall be applicable:

**Nonconforming.** “Nonconforming” means a building, structure or portion thereof, or use of building or land which does not conform to the regulations of this specific plan and which lawfully existed at the time the regulations became effective through adoption, revision or amendment

**Nonconforming lot.** “Nonconforming lot” means a lot, the area, dimensions or location of which was lawful prior to the adoption, revision or amendment of this specific plan, but which fails by such reason to conform to the present requirements of the specific plan.

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Nonconforming structure. “Nonconforming structure” means a structure or building, the size, dimensions or location of which was lawful prior to the adoption, revision, or amendment of this specific plan, but which fails by such reason to conform to the present requirements of the specific plan.

Nonconforming use. “Nonconforming use” means a use or activity which was lawful prior to the adoption, revision or amendment of this specific plan, but which fails by such reason to conform to the present requirements of the specific plan.

#### **7.4.3 NONCONFORMING USES**

A nonconforming use shall be subject to the provisions contained in this section:

1. A nonconforming use may be altered, subject to the approval of the Development Services Director or his / her designee. The Director shall have the discretion to approve uses that are expanded or modified by less than ten per cent (10%) of the lawful floor space or ground area existing at the time the use became nonconforming.
2. For a nonconforming use of land not involving a structure, the use may not be moved, in whole or in part, from the location it occupied at the time the use became nonconforming to any other portion of the lot or parcel upon which it is located, unless there exists proof of intent to occupy such area or location on the lot or parcel prior to the time the use of land became nonconforming. Expansions or modifications of ten per cent (10%) or greater shall be referred to the Planning Commission.
3. If no structural alterations are proposed, a nonconforming use of a structure may be changed to another nonconforming use of lesser intensity, or closer to conformity with the underlying designation, provided the Director determines that the proposed use is of lesser intensity or more appropriate to the land use district than the existing nonconforming use. In permitting such a change, the Director may impose conditions to ensure that the degree of nonconformity is not subsequently increased, along with such other conditions as are necessary to mitigate any adverse impacts of the changed use upon neighboring properties.
4. If a nonconforming use is superseded by an allowed use, such use shall thereafter conform to the regulations for the land use district in which it is located, and the nonconforming use may not be resumed.

#### **7.4.4 NONCONFORMING STRUCTURES**

A nonconforming structure may be continued in use so long as it is in compliance with all codes, ordinances and laws of the City and, other than building code regulations as set forth in the Colton Municipal Code, subject to the following provisions:

1. If a nonconforming structure or nonconforming portion of a structure is destroyed by any means to an extent of more than fifty percent (50%) of its reasonable replacement value at the time of destruction, it may not be reconstructed except in conformity with the provisions of this Specific Plan Amendment.

Exception: a nonconforming residential structure may be reconstructed in any district that allows such a use if it meets all building and safety regulations, and if, to the extent reasonable and feasible, the construction conforms with the regulations of this Specific Plan.

2. If a structure is moved for any reason for any distance, it shall thereafter conform to the regulations for the land use district into which it is relocated.
3. If a nonconforming structure is abandoned or vacated for one-hundred eighty days or more, any subsequent use of the property shall conform with the regulations of the land use district in which it is located.
4. The provisions of this section shall not apply to billboards. Nonconforming billboards shall be terminated in accordance with applicable provisions of the California Outdoor Advertising Act and the Colton sign code.

#### 7.4.5 NONCONFORMING LOTS

Any lot that becomes nonconforming upon adoption of this Specific Plan may be used or built upon, provided that the development project otherwise conforms to the requirements of this Specific Plan.

#### SPECIFIC PLAN AMENDMENT

Any lot that, by action of the City of Colton or any other government agency, becomes nonconforming by means of condemnation, acquisition, or dedication shall be allowed to apply the standards for the lot in effect prior to the agency action.

#### 7.4.6 OTHER NONCONFORMITIES

This section shall apply to any other circumstance which does not conform to the requirements of this Specific Plan including, but not limited to, nonconforming fence heights or location; lack of buffers or screening; lack of or inadequate landscaping; lack of or inadequate off-street parking; and any other nonconformity created by adoption of this Specific Plan. Because nonconformities addressed in this section involve less investment and are more easily corrected than those addressed in Sections 7.3, 7.4 or 7.5 of this section, the intent of this Specific Plan is to eliminate such nonconformities as quickly as practicable. The following shall apply:

1. Non-conforming development with approved site plan or conditional use permit. A non-conforming development that is consistent with a site plan or conditional use permit approved before the effective date of this Specific Plan shall be deemed to be in conformance with this Specific Plan to the extent that it is consistent with the approved site plan and to the extent that such development conforms to all conditions imposed thereon. A nonconformity, other than one of those enumerated in Sections 7.4.3, 7.4.4 or 7.4.5 of this section, shall be brought into conformance upon the occurrence of any one of the following:

- a. Any increase of more than fifteen (15) percent floor area or fifty (50) percent value of the building or premises.
  - b. For a lot or parcel located in a commercial or industrial zone, any change in use to a more intensive use when a new certificate of occupancy is requested.
2. In no event shall the extent of such nonconformities be increased or expanded.

#### 7.4.7 REPAIRS AND MAINTENANCE

On any nonconforming structure, and on any conforming structure containing a nonconforming use, routine maintenance work may be performed, and nonbearing walls, fixtures, wiring, or plumbing may be repaired or replaced; provided that:

1. The value of the repair and replacement work during any twelve-month period does not exceed ten percent of the replacement cost of the entire structure; and
2. The square footage of the structure that is nonconforming or has a nonconforming use is not increased.

#### 7.4.8 ABANDONMENT

Any nonconforming use, structure, or other nonconformity which is not thus occupied or so used for a continuous period of one hundred eighty days (6 months) shall be deemed abandoned and shall not thereafter be re-occupied or used except in a manner that conforms to the requirements of this specific plan.

1. **Presumption of Abandonment.** A nonconforming use, structure, or other nonconformity shall be presumed abandoned when any of the following occurs:
  - a. The owner or authorized representative has in writing or by public statement indicated intent to abandon the use, structure, or other nonconformity;
  - b. A less intensive use has replaced the original nonconforming use;
  - c. The owner or authorized representative has physically changed the structure or its permanent equipment in such a way as to indicate a change in use or activity to something other than the nonconforming use; or
  - d. The structure has been removed through applicable procedures for the condemnation of unsafe structures.
  - e. Electric utility service has been terminated for 180 days or more.
2. **Overcoming Presumption of Abandonment.** A presumption of abandonment may be rebutted upon evidence presented by the owner or authorized representative showing no intent to abandon the use, structure, or other nonconformity. Such evidence may include proof that

during the alleged period of abandonment the owner or authorized representative has done either of the following:

- a. Maintained the lot and structure, if any, in accordance with the building code; or
- b. Has actively and continuously marketed the lot or structure for sale or lease.

#### 7.4.9 DETERMINATION OF NONCONFORMING STATUS

In all cases where the nonconformity of a use, structure or lot is at issue, the property owner or authorized representative shall have the burden of establishing that a nonconforming lot, structure, or use lawfully exists pursuant to laws applicable at the time it was established or constructed.

#### 7.4.10 NONCONFORMING USES DETRIMENTAL TO HEALTH AND SAFETY

No provisions of this section or this specific plan shall be construed to allow the continuance of any nonconforming structure or use when it is detrimental to the health, safety, or welfare of the public.

#### 7.4.11 APPEALS

Any person aggrieved by a decision of the Director other official enforcing the provisions of this section may appeal to the Planning Commission.

## 7.5 ENFORCEMENT

#### PURPOSE AND INTENT

This section establishes provisions for the enforcement of all provisions, standards, regulations, and guidelines in the CHCCSP. It is intended to provide the City with flexibility in determining appropriate remedies to use in case of any violation. As a result, all herein described penalties are cumulative in nature.

#### DECLARATION OF UNLAWFULNESS AND PUBLIC NUISANCE

Any building, structure or other improvements set up, erected, constructed, altered, enlarged, converted, moved or maintained contrary to the provisions of this Specific Plan, any use of land, building, or premises established, conducted or operated or maintained contrary to the provisions of this Specific Plan shall be and the same is declared to be unlawful and a public nuisance. Upon a request by the Director, the City Attorney shall immediately commence action or proceedings for the abatement and removal and the enjoining thereof in the manner prescribed by law, and shall take such other steps and shall apply to such courts as may have jurisdiction to grant such relief as will abate and remove the structure or building or use, and enjoin any person, firm or corporation from setting up, erecting, building, maintaining or the use of any such building or structure or using property contrary to the provisions of this title. The remedies provided herein shall be cumulative and not exclusive.

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#### CITATION AUTHORITY

The Chief of Police and his / her authorized designees are authorized to issue a citation for an infraction or misdemeanor as to such violation after such notice if there is neither correction nor compliance.

#### VIOLATIONS AND PENALTIES

Any person violating any of the provisions of this Specific Plan shall, unless otherwise specifically provided in this Specific Plan or by statute, be guilty of a misdemeanor; provided, that where the City Attorney or other prosecutor determines that such action would be in the interests of justice, the City Attorney or other prosecutor may prosecute any such offense as an infraction. In the event a notice to appear is prepared as a misdemeanor, the City Attorney or other prosecutor may nonetheless prosecute any such offense as an infraction.

#### USE OF ADMINISTRATIVE FINES AND PENALTIES

Notwithstanding the use of criminal citations filed as infractions or misdemeanors, every violation of a provision of this Specific Plan, the penalty for which is defined as an “infraction” or “misdemeanor,” shall also be subject to an administrative fine and penalty in accordance with the provisions of Chapter 8.12 of the Colton Municipal Code. The use of administrative fines and penalties are in addition to all other remedies, criminal or civil, which may be pursued by the city to address any violation of provision, standard, regulation, guideline, rule or other law adopted by the city, or other applicable state codes. Use of this chapter shall be at the sole discretion of the City and nothing in this chapter shall prevent the City from initiating a civil, criminal or other legal or equitable proceedings as an alternative to the proceedings set forth in this Specific Plan.

## 7.6 DEFINITIONS

Refer also to the City of Colton Zoning Ordinance, Title 18 of the Municipal Code, for definitions. The following definitions shall also apply to the Colton’s Hub City Centre Specific Plan area and supercede those in the Zoning Ordinance.

Acreage, Net: that area of a lot or parcel less public rights-of-way and public dedicated open space or other public use.

Alley: a public or private service way providing access to property and not intended for general traffic circulation.

CEQA: The California Environmental Quality Act.

Common Area: that area of a lot or parcel held in common and / or single ownership and not reserved for the exclusive use or benefit of an individual tenant or owner.

Common Open Space: all common landscape areas, private recreation areas, private pedestrian corridors and private streets within a lot or parcel that is controlled and maintained by a homeowners association.

Defensible Space: a physical space which is made usable and safe by means of a design encouraging pedestrian circulation, visual access and the elimination of visually obstructed areas.

**Detention Basin:** a pond, pool or basin used for the temporary storage of water runoff.

**Development Agreement:** a legally binding instrument executed between two or more parties which sets forth the specific criteria under which a certain development project may proceed. Modifications to the terms and conditions of the agreement require the mutual written consent of all parties entering into the agreement.

**Drive-thru Facility:** a facility synonymous with “drive in business” in the City Zoning Ordinance.

**Façade:** means the exterior wall of a building exposed to public view or that wall viewed by persons outside the building.

**Guest Parking:** on-site parking spaces provided for intermittent use by visitors.

**Infrastructure:** basic facilities and services needed to sustain residential and commercial activities including, but not limited to, sewer, water, storm drain, and streets.

**Land Use Plan:** a plan showing proposed location, extent and intensity of development of land to be used in the future for varying types of residential, commercial, industrial, agricultural, recreational, educational and other public and private purposes or combination of purposes.

**Live / Work Unit:** A single-family dwelling unit which contains adequate work space typically accessible from separate entrance reserved for, and regularly used by, one (1) or more persons residing therein.

**Minimum Parcel Area:** the minimum amount of land that must be contained in a parcel for development purposes.

**Mixed Use:** the development of a tract of land or building or structure with two or more different uses such as, but not limited to, residential, office, manufacturing, retail, public, or entertainment, in a compact urban form.

**Open Space:** Any parcel or area of land or water and set aside, dedicated, designated, or reserved for public or private use or enjoyment of owners, occupants and guests.

**Open Space, Common:** land within or related to a development, not individually owned or dedicated for public use, which is designed and intended for the common use or enjoyment of the residents or tenants of the development.

**Open Space, Private:** an open space, fenced or otherwise, which is reserved normally for the exclusive use by the occupants of a single dwelling or building or property.

**Open Space, Public:** an open space owned by a public agency and maintained by it for the use and enjoyment of the general public.

**Planning Area:** a specifically delineated area or district within a Specific Plan with development regulations and standards that uniformly govern the use, placement, spacing and size of land and buildings.

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**Project:** means the total development within the boundaries as defined on the development plan.

**Retention Basin:** a pond, pool or basin used for the permanent storage of water runoff.

**Shared Parking:** a situation where the same parking spaces can be utilized by two or more different uses due to the differing peak hours of operation of the uses involved.

**Site:** means any plot or parcel of land or combination of contiguous lots or parcels of land.

**Temporary Use:** a use established for a fixed period of time with the intent to discontinue such use upon the expiration of the time period.

**Tot Lot:** an improved and equipped play area for small children.

**Use, Conditional:** a use, listed by the regulations of any particular district as a conditional use within that district and allowable therein, solely on a discretionary and conditional basis, subject to development/design review or to a conditional use permit, and to all other regulations.

**Zero Lot Line:** the location of a building on a lot in such a manner that one or more of the building's sides rest directly on a lot line.