



EXISTING FACILITY

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- D1.1 DEMOLITION SITE PLAN
- L1.1 PRELIMINARY LANDSCAPE PLAN
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- E2.1 ELECTRICAL PHOTOMETRIC PLAN PART B
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- A1.0 VICINITY PLAN
- A1.1 PROPOSED SITE PLAN
- A1.2 PROPOSED CIRCULATION PLAN
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- A2.1 O&M BLDG GROUND FLOOR PLAN
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- A5.1 O&M BLDG EXTERIOR ELEVATIONS
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- A6.2 DETAILS
- A7.1 3D RENDERING
- A7.2 3D RENDERING

PROJECT INFO:

EXISTING BUILDING AREA

TO REMAIN:		
MRF	26,546 S.F.	
TO BE REMOVED:		
(E) MAINTENANCE BLDG	-3,210 S.F.	
(E) STAFF BLDG	-533 S.F.	
(E) OFFICE BLDG	-2,925 S.F.	

NEW BUILDING AREA

OFFICE FIRST FLOOR	3,180 S.F.
OFFICE SECOND FLOOR:	
APARTMENT	870 S.F.
STORAGE	1,660 S.F.
MAINTENANCE BUILDING	9,970 S.F.
MRF ADDITION	24,000 S.F.
SUBTOTAL:	39,680 S.F.

TOTAL BUILDING AREA	66,226 S.F.
MAXIMUM FAR	50%
PROPOSED FAR	24.7%

OCCUPANCY TYPE:

OFFICE BUILDING	B, A & R3
MAINTENANCE BLDG	S-1
MRF ADDITION	F-1

TYPE OF CONSTRUCTION
SPRINKLERED

SITE PARKING PROVIDED: SEE SITE PLAN SHEET A1.1

BUILDING HEIGHT (18.28.090)

MAXIMUM BUILDING HEIGHT	3 STORIES OR 50'-0"
PROPOSED MRF EXPANSION HEIGHT	1 STORY AT 39'-3"
PROPOSED O&M BUILDING HEIGHT	2 STORY AT 32'-0"

FRONT SETBACK (18.28.100)

MINIMUM FRONT SETBACK	20'-0"
PROPOSED FRONT SETBACK	33'-0"

SIDE AND REAR SETBACK (18.28.110)

MINIMUM SIDE SETBACK	NO SETBACK REQUIRED
PROPOSED SIDE SETBACK EAST	11'-0" (EAST SIDE)
MINIMUM REAR SETBACK	NO SETBACK REQUIRED
PROPOSED REAR SETBACK	40'-0"

SITE INFORMATION:

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COLTON, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

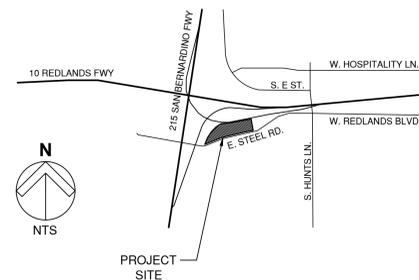
PARCEL 2 OF PARCEL MAP NO. 8644, AS SHOWN BY MAP ON FILE IN BOOK 89, PAGES 65 & 66 OF PARCEL MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

APN: 0164-311-29-0-000

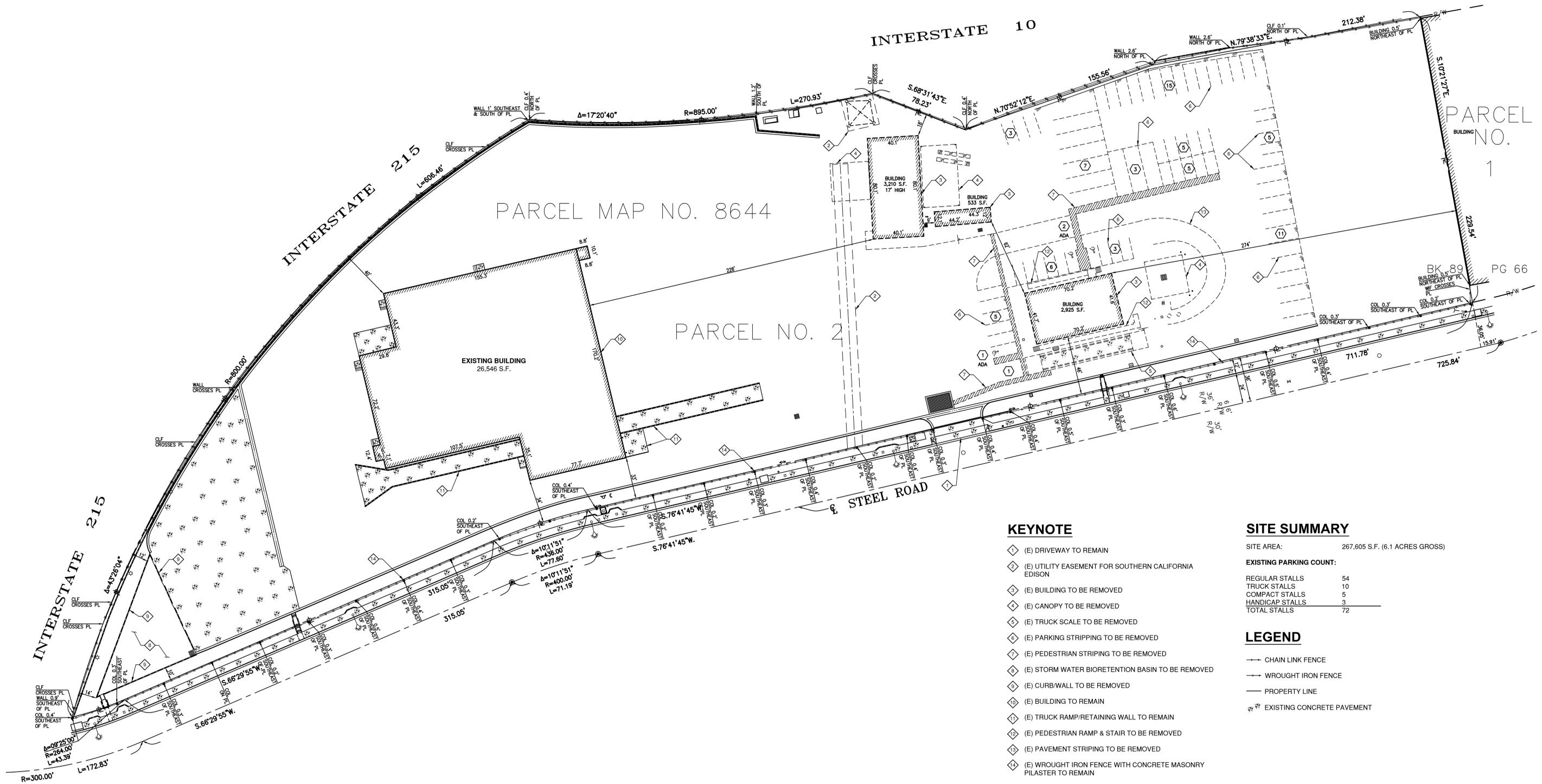
SITE AREA: 267,605 S.F. (6.1 ACRES GROSS)

EXISTING ZONING: LIGHT INDUSTRIAL (M-1)
PROPOSED ZONING CHANGE: HEAVY INDUSTRIAL (M-2)

VICINITY MAP:



**New Office/Maintenance Building & MRF Building Addition
CR&R COLTON FACILITY**



KEYNOTE

- 1 (E) DRIVEWAY TO REMAIN
- 2 (E) UTILITY EASEMENT FOR SOUTHERN CALIFORNIA EDISON
- 3 (E) BUILDING TO BE REMOVED
- 4 (E) CANOPY TO BE REMOVED
- 5 (E) TRUCK SCALE TO BE REMOVED
- 6 (E) PARKING STRIPPING TO BE REMOVED
- 7 (E) PEDESTRIAN STRIPING TO BE REMOVED
- 8 (E) STORM WATER BIORETENTION BASIN TO BE REMOVED
- 9 (E) CURB/WALL TO BE REMOVED
- 10 (E) BUILDING TO REMAIN
- 11 (E) TRUCK RAMP/RETAINING WALL TO REMAIN
- 12 (E) PEDESTRIAN RAMP & STAIR TO BE REMOVED
- 13 (E) PAVEMENT STRIPING TO BE REMOVED
- 14 (E) WROUGHT IRON FENCE WITH CONCRETE MASONRY PILASTER TO REMAIN

SITE SUMMARY

SITE AREA: 267,605 S.F. (6.1 ACRES GROSS)

EXISTING PARKING COUNT:

REGULAR STALLS	54
TRUCK STALLS	10
COMPACT STALLS	5
HANDICAP STALLS	3
TOTAL STALLS	72

LEGEND

- CHAIN LINK FENCE
- WROUGHT IRON FENCE
- PROPERTY LINE
- ※※※ EXISTING CONCRETE PAVEMENT

**BUILDING B
TREE LEGEND**

SYMBOL	BOTANICAL/COMMON NAME	SIZE	COMMENTS	WATER REQ.
⊕	EXISTING ST. TREE CUPANOPSIS ANACARDIOPES CARROT WOOD	24" BOX	SAVE IN PLACE STD. D.S.	MEDIUM
⊙	LAGERSTROEMIA INDICA HYBRIDS WATERHELOON RED	24" BOX	STD. D.S.	MEDIUM
⊕	SEIGERIA PARVIFLORA AUSTRALIAN WILLOW ALT: GLEDITSIA TRIACANTHOS 'SHADE MASTER'	24" BOX	STD. D.S.	MEDIUM

SHRUB LEGEND

SYMBOL	BOTANICAL/COMMON NAME	SIZE	COMMENTS	WATER REQ.
⊙	AGAVE SHAWII SHAW'S AGAVE	9 GAL	36" O.C.	LOW
⊙	AGAVE ATTENUATA FOXTAIL AGAVE	9 GAL	36" O.C.	LOW
⊙	LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY' TEXAS RANGER	9 GAL	4' TO 5' O.C.	LOW
⊙	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TEXAS RANGER	1 GAL	4' TO 5' O.C.	LOW

ACCENT PLANTS

SYMBOL	BOTANICAL/COMMON NAME	SIZE	COMMENTS	WATER REQ.
⊕	MUEHLENBERGIA RIGENS	1 GAL	4' O.C.	LOW
⊙	SALVIA GREGGI	9 GAL	3' O.C.	LOW
⊙	HESPERALOE PARVIFLORA RED YUCCA	9 GAL	3' O.C.	LOW

GROUND COVER

SYMBOL	BOTANICAL/COMMON NAME	SIZE	COMMENTS	WATER REQ.
▨	MYOPORUM PARVIFOLIUM 'PROSTRATES'	1 GAL	4'-0" O.C.	LOW
ALT.	SENECIO SERPENS	1 GAL	18" O.C.	LOW

ROCK MULCH LEGEND

1. AT ON-SITE AREAS APPLY 2" DEEP ROCK MULCH IN PLANTING AREAS, USE 3/4" SCREENED ROCK, COLOR TO BE IN TAN RANGE. TOP OF ROCK TO BE 1" BELOW ADJACENT CONCRETE SURFACES. THE CONTRACTOR SHALL SUBMIT A SAMPLE TO THE OWNER AND LANDSCAPE ARCHITECT FOR APPROVAL. NOTE: ALL SITE PLANNING AREA TO HAVE ROCK MULCH. NOTE: ALSO SEE GROUND COVER LEGEND.

NOTES

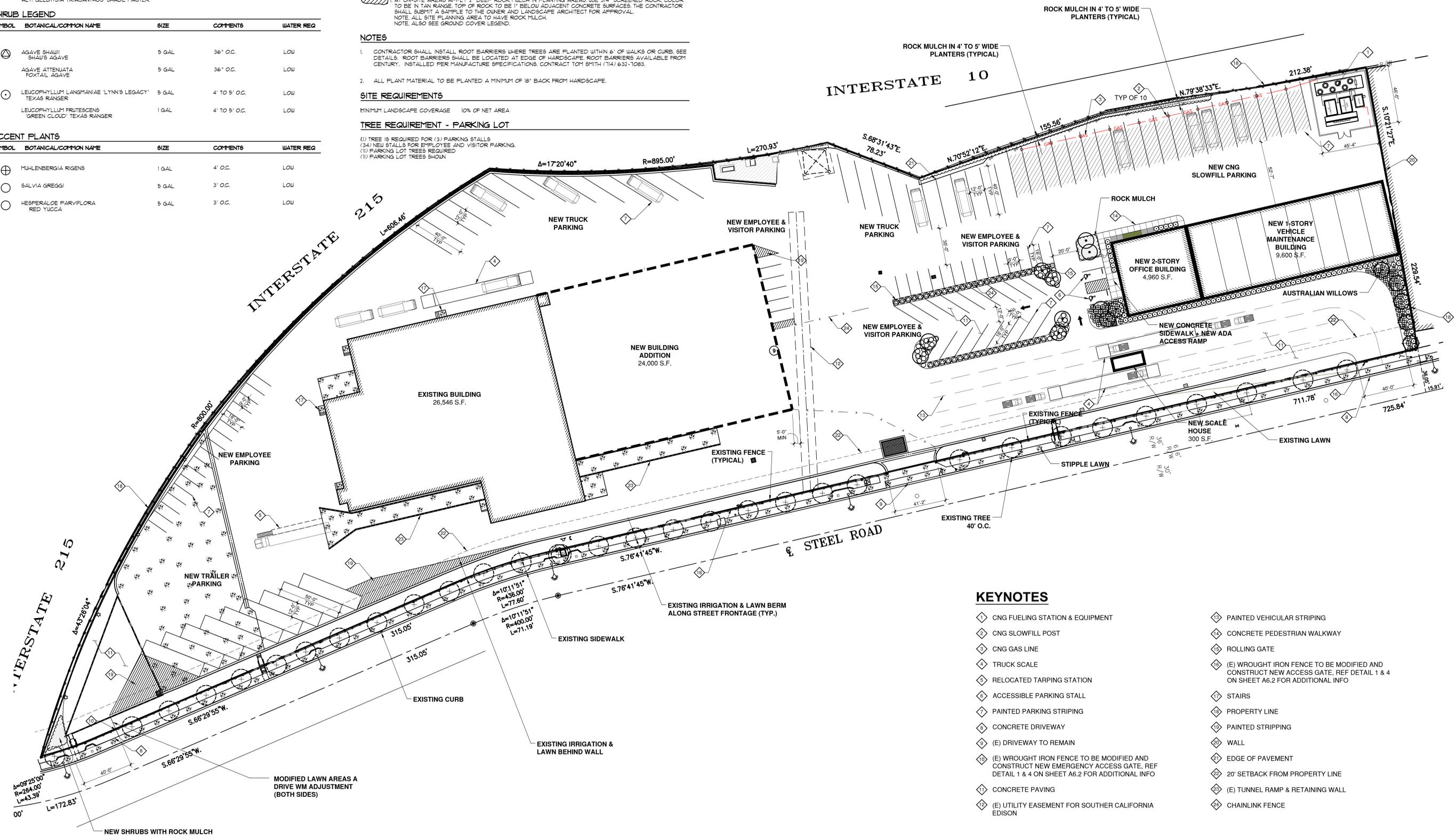
- CONTRACTOR SHALL INSTALL ROOT BARRIERS WHERE TREES ARE PLANTED WITHIN 6' OF WALKS OR CURB, SEE DETAILS. ROOT BARRIERS SHALL BE LOCATED AT EDGE OF HARDSCAPE. ROOT BARRIERS AVAILABLE FROM CENTURY. INSTALLED PER MANUFACTURE SPECIFICATIONS. CONTRACT TOM SMITH (714) 632-1083.
- ALL PLANT MATERIAL TO BE PLANTED A MINIMUM OF 18" BACK FROM HARDSCAPE.

SITE REQUIREMENTS

MINIMUM LANDSCAPE COVERAGE 10% OF NET AREA

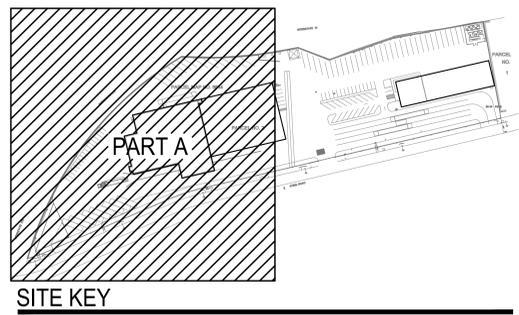
TREE REQUIREMENT - PARKING LOT

- TREE IS REQUIRED FOR (3) PARKING STALLS
- (34) NEW STALLS FOR EMPLOYEE AND VISITOR PARKING.
- (1) PARKING LOT TREES REQUIRED
- (1) PARKING LOT TREES SHOWN



KEYNOTES

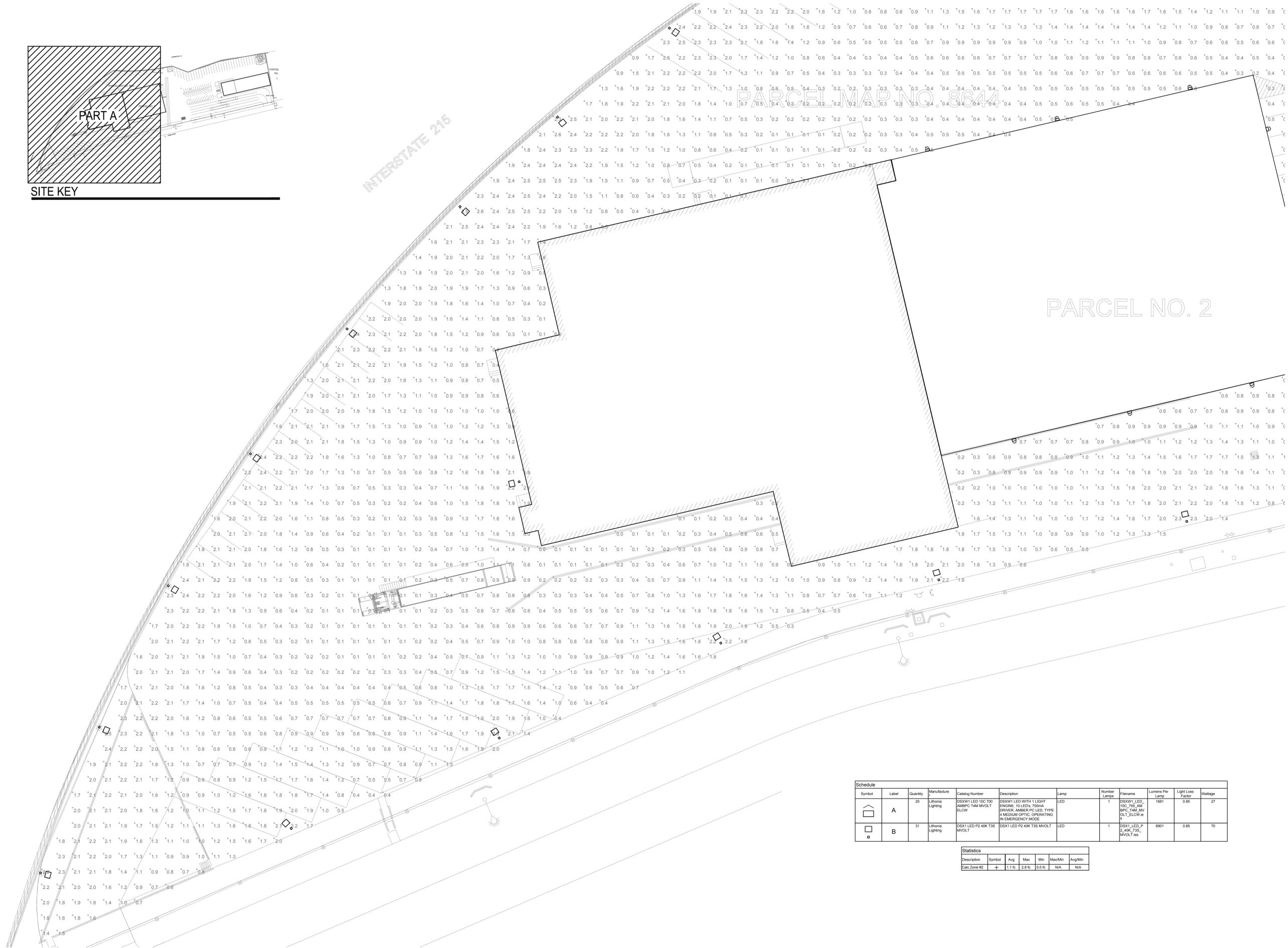
- 1 CNG FUELING STATION & EQUIPMENT
- 2 CNG SLOWFILL POST
- 3 CNG GAS LINE
- 4 TRUCK SCALE
- 5 RELOCATED TARPING STATION
- 6 ACCESSIBLE PARKING STALL
- 7 PAINTED PARKING STRIPING
- 8 CONCRETE DRIVEWAY
- 9 (E) DRIVEWAY TO REMAIN
- 10 (E) WROUGHT IRON FENCE TO BE MODIFIED AND CONSTRUCT NEW EMERGENCY ACCESS GATE, REF DETAIL 1 & 4 ON SHEET A6.2 FOR ADDITIONAL INFO
- 11 CONCRETE PAVING
- 12 (E) UTILITY EASEMENT FOR SOUTHER CALIFORNIA EDISON
- 13 PAINTED VEHICULAR STRIPING
- 14 CONCRETE PEDESTRIAN WALKWAY
- 15 ROLLING GATE
- 16 (E) WROUGHT IRON FENCE TO BE MODIFIED AND CONSTRUCT NEW ACCESS GATE, REF DETAIL 1 & 4 ON SHEET A6.2 FOR ADDITIONAL INFO
- 17 STAIRS
- 18 PROPERTY LINE
- 19 PAINTED STRIPING
- 20 WALL
- 21 EDGE OF PAVEMENT
- 22 20' SETBACK FROM PROPERTY LINE
- 23 (E) TUNNEL RAMP & RETAINING WALL
- 24 CHAINLINK FENCE



INTERSTATE 215

PARCEL MAP NO. 8644

PARCEL NO. 2



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	20	Lithonia Lighting	DSXW1 LED 100 700 AMBPC 14M MVOLT	DSXW1 LED WITH 1 LIGHT ENGINE, 10 LEDS, 700mA DRIVER, AMBER PC LED, TYPE # MEDIUM OPTIC, OPERATING IN EMERGENCY MODE	LED	1	DSXW1_LED_100_700_AMBPC_14M_MVOLT_ELUCW.e	1681	0.85	27
	B	31	Lithonia Lighting	DSX1 LED P2 40K T35 MVOLT	DSX1 LED P2 40K T35 MVOLT	LED	1	DSX1_LED_P2_40K_T35_MVOLT.e	8901	0.85	70

Statistics						
Description	Symbol	Avg	Max	Min	MaxMin	AvgMin
Calc Zone #2	+	1.1fc	2.8fc	0.0fc	N/A	N/A

ELECTRICAL PHOTOMETRIC PLAN (PART A)
SCALE: 1/16"=1'-0"

REVISIONS		
NO.	DATE	DESCRIPTION



PROJECT NAME
CR3R COLTON FACILITY
NEW OFFICE & MAINTENANCE BUILDING
2059 EAST STEEL ROAD, COLTON, CA 95324

SHEET TITLE
ELECTRICAL PHOTOMETRIC PLAN PART A

DRAWN: GMEP
CHECKED: GMEP
DATE: 03/13/17
SCALE: AS NOTED
JOB NO: 19-002
SHEET: **E-2.0**

REVISIONS		
NO.	DATE	DESCRIPTION



PROJECT NAME
CR&R COLTON FACILITY
 NEW OFFICE & MAINTENANCE BUILDING
 2059 EAST STEEL ROAD, COLTON, CA 95324

SHEET TITLE
ELECTRICAL PHOTOMETRIC PLAN
 PART B

DRAWN
 GMEP
 CHECKED
 GMEP
 DATE
 03/13/17
 SCALE
 AS NOTED
 JOB NO.
 19-002
 SHEET

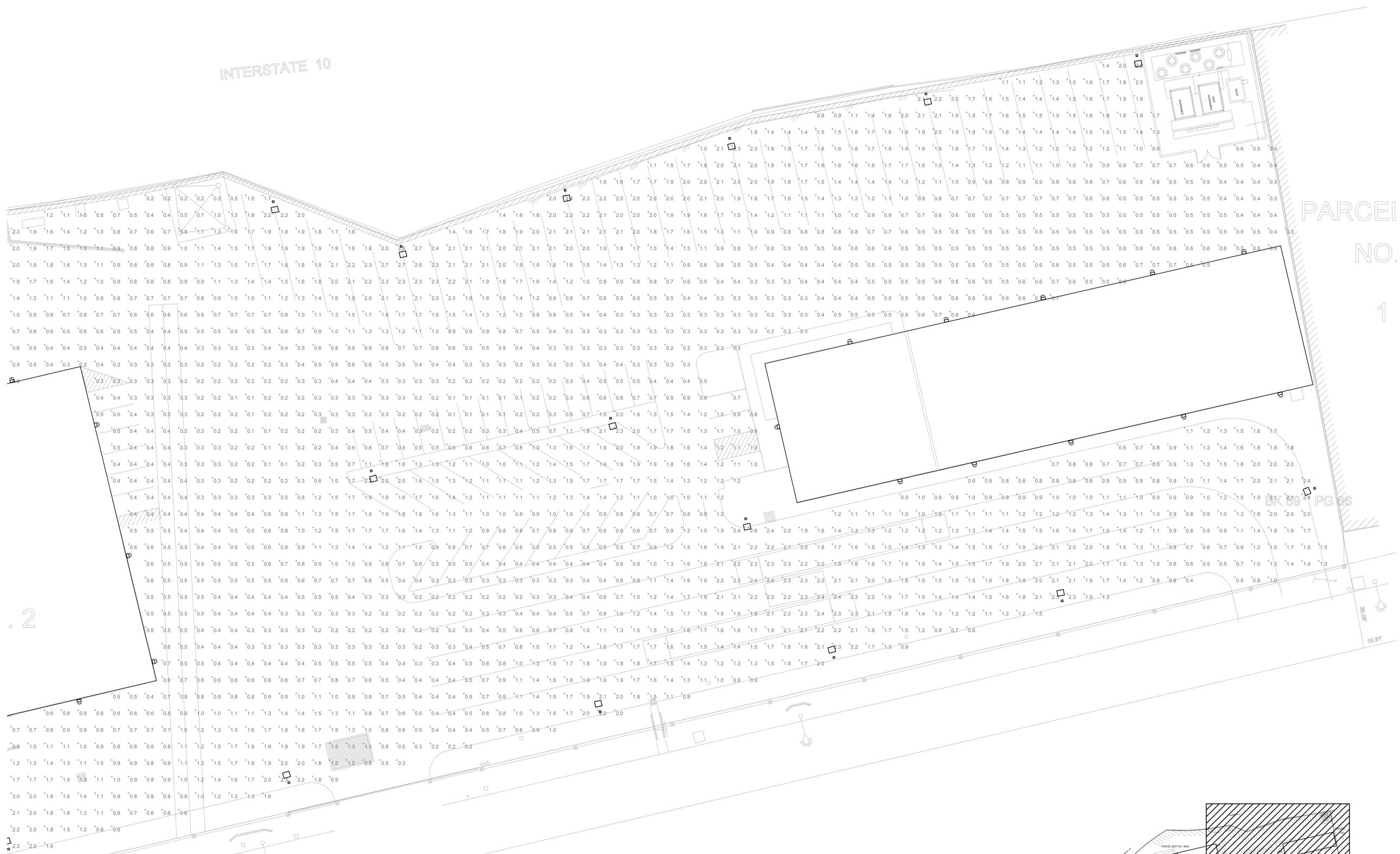
E-2.1



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	20	Lithonia Lighting	DSXW1 LED 100 T00 AMB/PC 14M MVOLT ELWC	DSXW1 LED WITH 1 LIGHT ENGINE 10 LED's 700mA DRIVER, AMBER PC LED, TYPE 4 MEDIUM OPTIC, OPERATING IN EMERGENCY MODE	LED	1	DSXW1_LED_100_T00_AMB_PC_14M_MVOLT_ELWC.rvt	1681	0.85	27
	B	31	Lithonia Lighting	DSX1 LED P2 40K T35 MVOLT	DSX1 LED P2 40K T35 MVOLT	LED	1	DSX1_LED_P2_40K_T35_MVOLT.rvt	8901	0.85	70

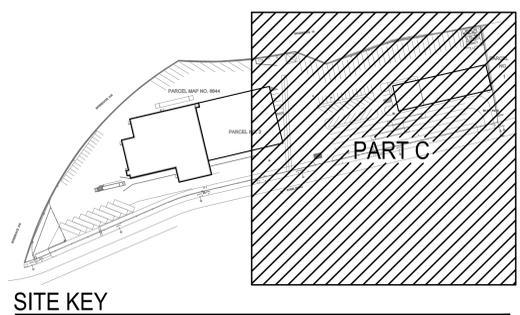
Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
Calc Zone #2	+	1.1 fc	2.8 fc	0.0 fc	N/A

ELECTRICAL PHOTOMETRIC PLAN (PART B)
 SCALE: 1/16"=1'-0"



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	20	Lithonia Lighting	DSXW1 LED 100 700 AMBIC T8M MVOLT ELW	DSXW1 LED WITH 1 LIGHT ENGINE, 10 LEDS, 7000mah DRIVER, AMBER PC LED, TYPE 4 MEDIUM OPTIC, OPERATING IN EMERGENCY MODE	LED	1	DSXW1_LED_100_700_AMBIC_T8M_mvolt_ELW	1681	0.85	27
	B	31	Lithonia Lighting	DSX1 LED P2 40K T35 MVOLT	DSX1 LED P2 40K T35 MVOLT	LED	1	DSX1_LED_P2_40K_T35_MVOLT	8901	0.85	70

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.1 fc	2.8 fc	0.0 fc	N/A	N/A



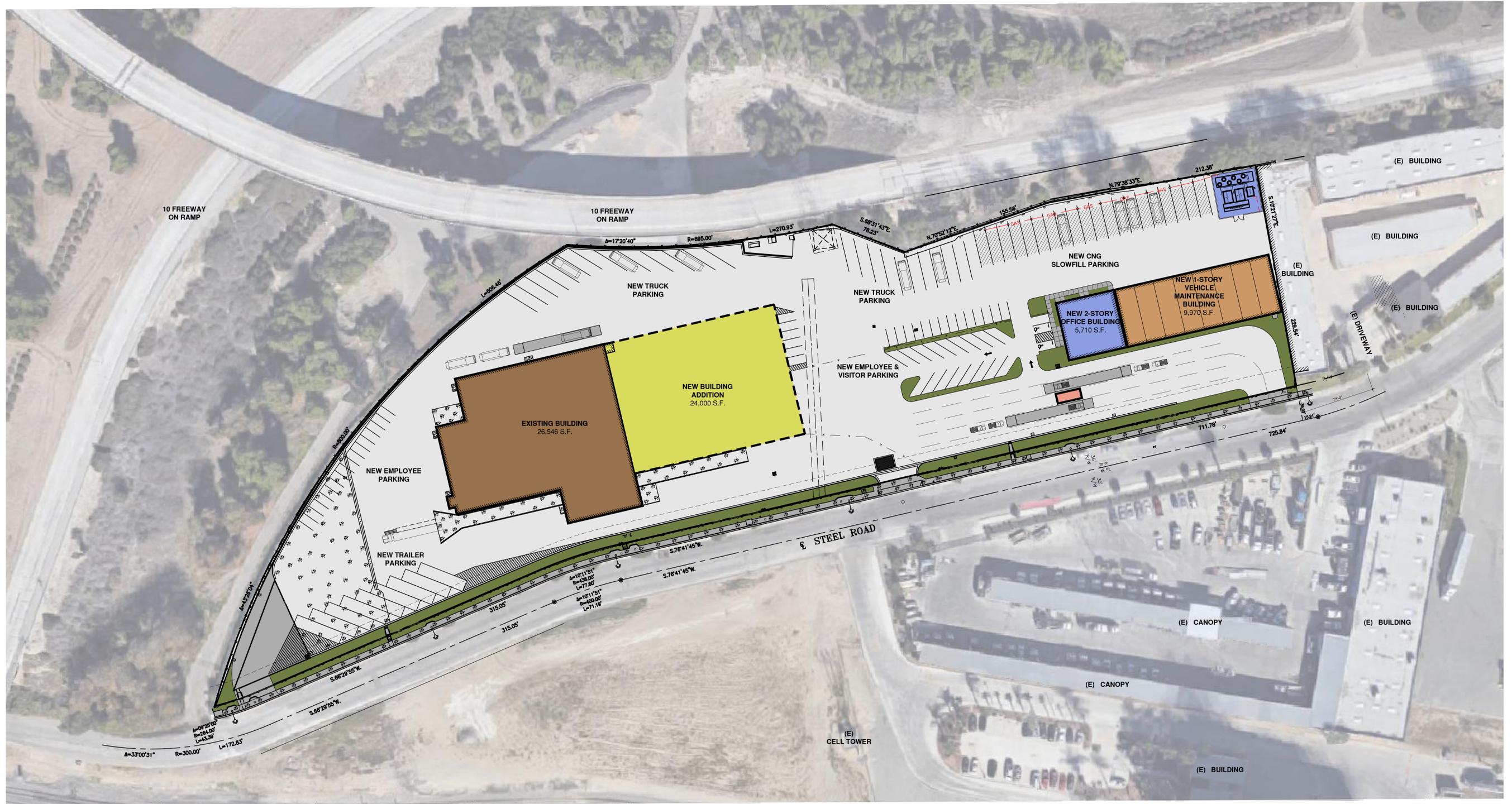
REVISIONS		
NO.	DATE	DESCRIPTION

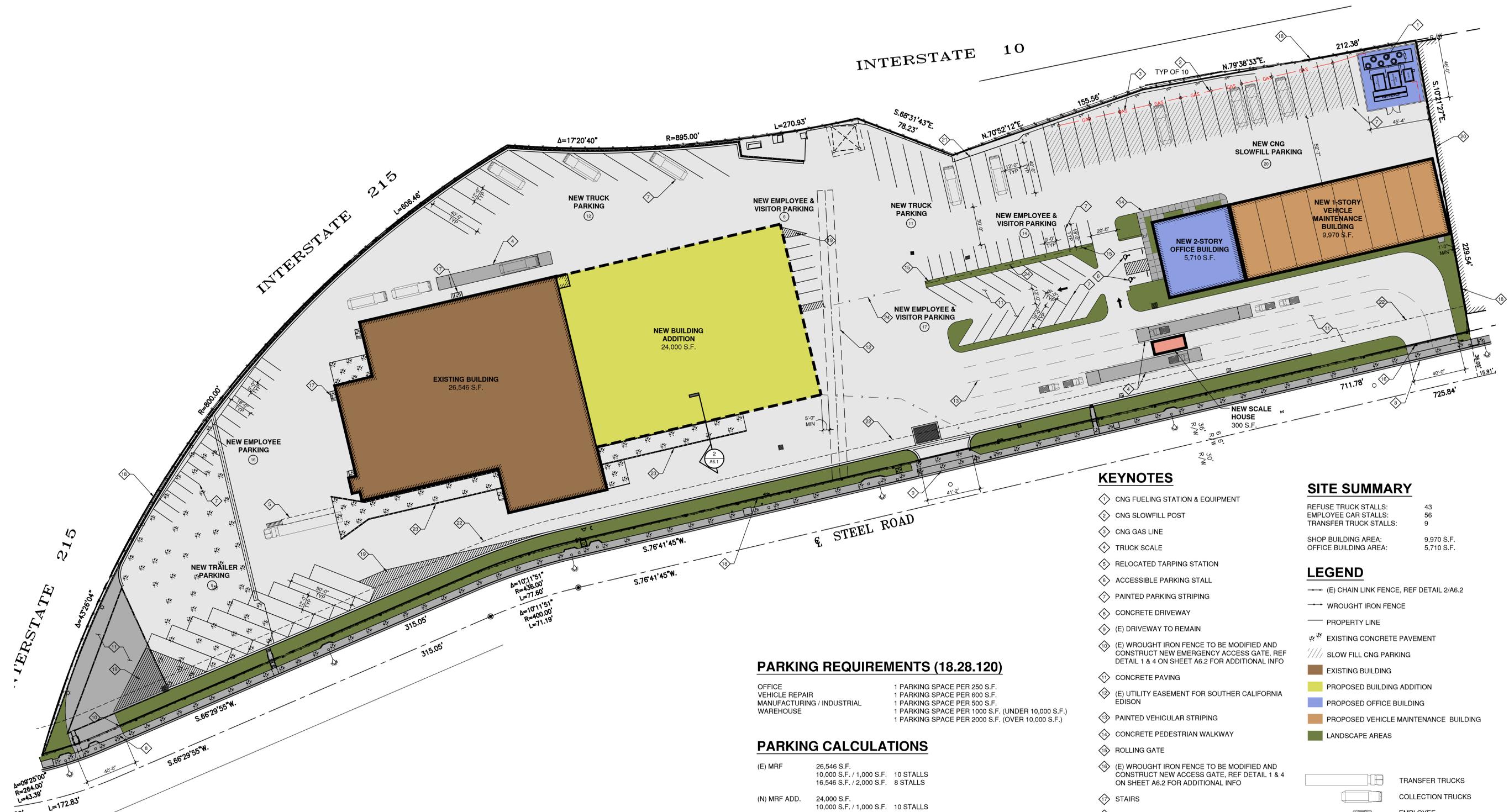


PROJECT NAME
CR3R COLTON FACILITY
NEW OFFICE & MAINTENANCE BUILDING
2059 EAST STEEL ROAD, COLTON, CA 95324

SHEET TITLE
ELECTRICAL PHOTOMETRIC PLAN
PART C

DRAWN: GMEP
CHECKED: GMEP
DATE: 03/13/17
SCALE: AS NOTED
JOB NO: 19-002
SHEET





PARKING REQUIREMENTS (18.28.120)

OFFICE	1 PARKING SPACE PER 250 S.F.
VEHICLE REPAIR	1 PARKING SPACE PER 600 S.F.
MANUFACTURING / INDUSTRIAL	1 PARKING SPACE PER 500 S.F.
WAREHOUSE	1 PARKING SPACE PER 1000 S.F. (UNDER 10,000 S.F.) 1 PARKING SPACE PER 2000 S.F. (OVER 10,000 S.F.)

PARKING CALCULATIONS

(E) MRF	26,546 S.F. 10,000 S.F. / 1,000 S.F. 10 STALLS 16,546 S.F. / 2,000 S.F. 8 STALLS
(N) MRF ADD.	24,000 S.F. 10,000 S.F. / 1,000 S.F. 10 STALLS 16,546 S.F. / 2,000 S.F. 7 STALLS
(N) OFFICE	5,710 S.F. / 250 S.F. 23 STALLS
(N) MAINT. BLDG	9,970 S.F. / 600 S.F. 17 STALLS
TOTAL STALLS REQUIRED	75 STALLS
TOTAL STALL PROVIDED	56 STALLS (SHORT 19 STALLS)

KEYNOTES

- 1 CNG FUELING STATION & EQUIPMENT
- 2 CNG SLOWFILL POST
- 3 CNG GAS LINE
- 4 TRUCK SCALE
- 5 RELOCATED TARPING STATION
- 6 ACCESSIBLE PARKING STALL
- 7 PAINTED PARKING STRIPING
- 8 CONCRETE DRIVEWAY
- 9 (E) DRIVEWAY TO REMAIN
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- 17 STAIRS
- 18 PROPERTY LINE
- 19 PAINTED STRIPING
- 20 WALL
- 21 EDGE OF PAVEMENT
- 22 20' SETBACK FROM PROPERTY LINE
- 23 (E) TUNNEL RAMP & RETAINING WALL
- 24 CHAIN LINK FENCE

SITE SUMMARY

REFUSE TRUCK STALLS:	43
EMPLOYEE CAR STALLS:	56
TRANSFER TRUCK STALLS:	9
SHOP BUILDING AREA:	9,970 S.F.
OFFICE BUILDING AREA:	5,710 S.F.

LEGEND

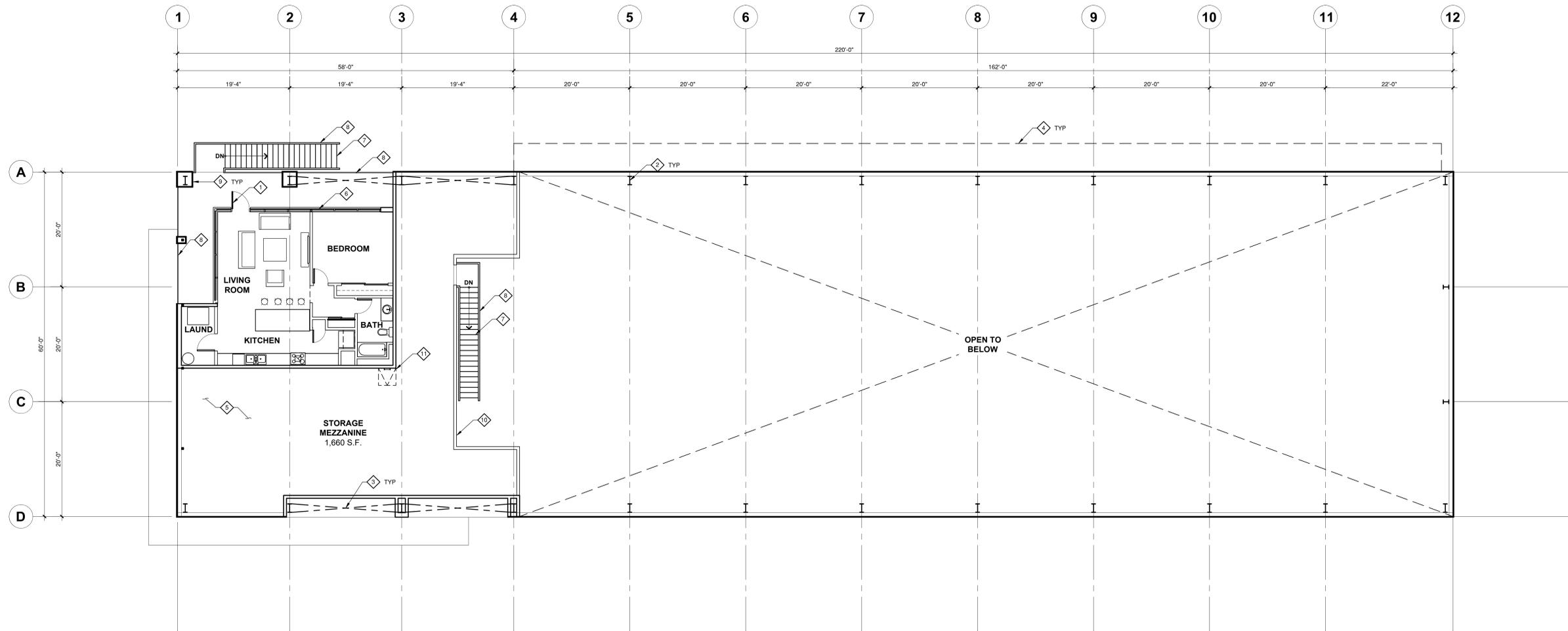
- (E) CHAIN LINK FENCE, REF DETAIL 2/A6.2
- WROUGHT IRON FENCE
- PROPERTY LINE
- EXISTING CONCRETE PAVEMENT
- SLOW FILL CNG PARKING
- EXISTING BUILDING
- PROPOSED BUILDING ADDITION
- PROPOSED OFFICE BUILDING
- PROPOSED VEHICLE MAINTENANCE BUILDING
- LANDSCAPE AREAS
- TRANSFER TRUCKS
- COLLECTION TRUCKS
- EMPLOYEE
- SELF HAUL



LEGEND

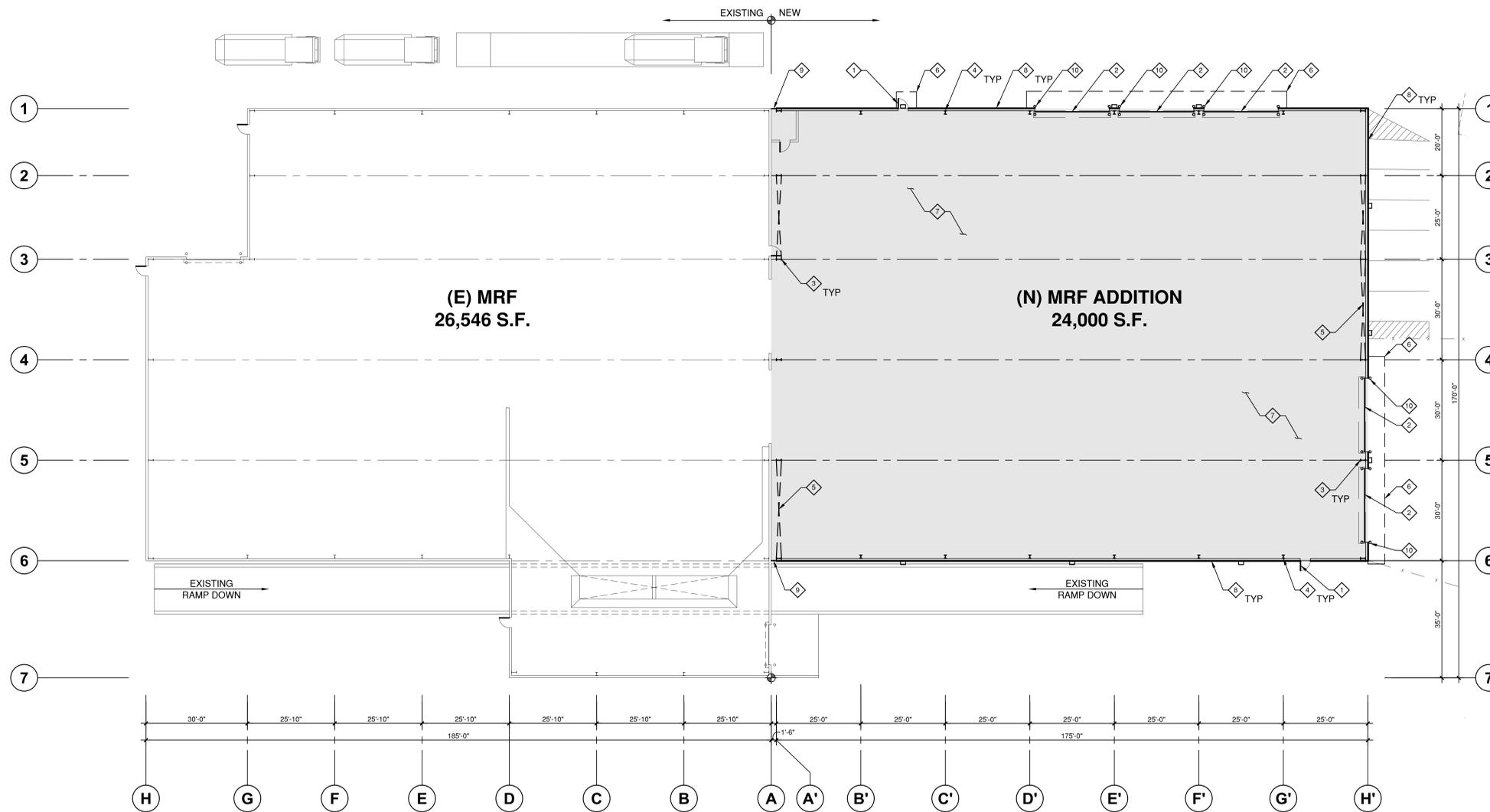
	TRANSFER TRUCKS
	COLLECTION TRUCKS
	EMPLOYEE/VISITOR
	SELF HAUL





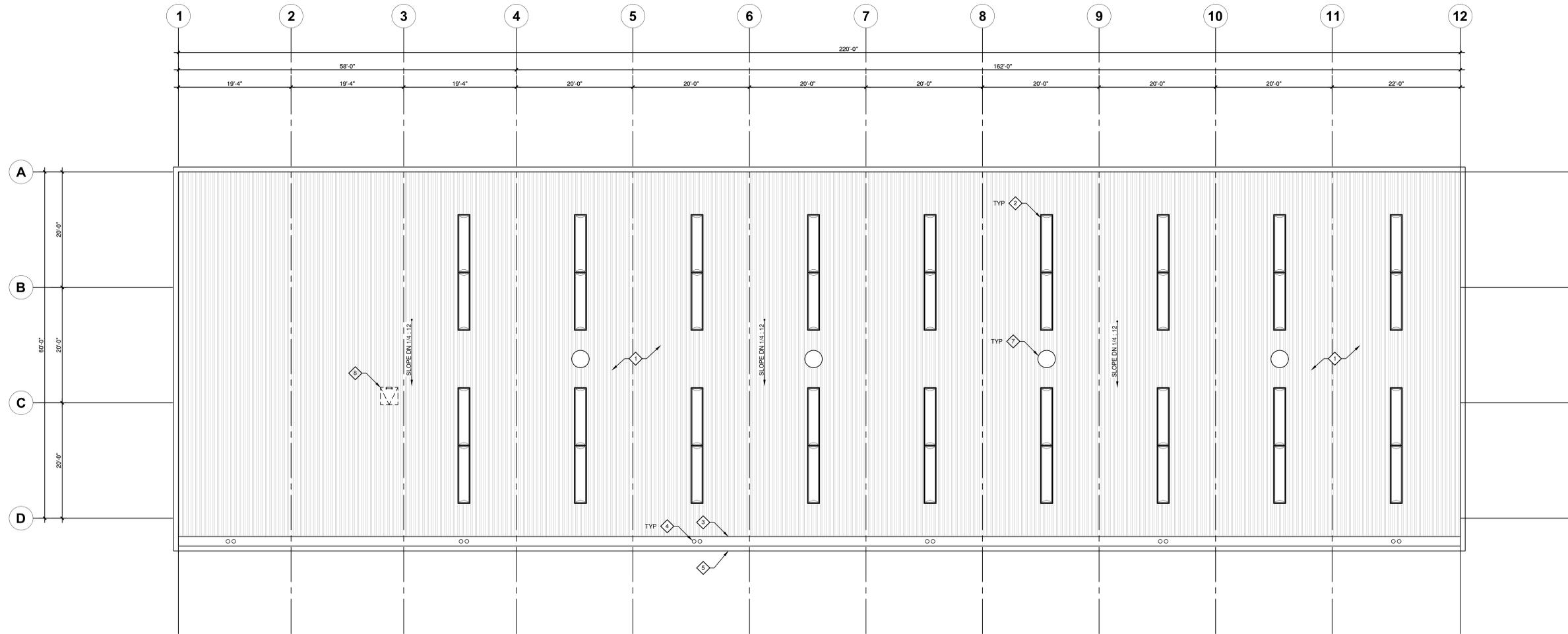
KEYNOTE

- ◇ PEDESTRIAN DOOR
- ◇ RIGID FRAME COLUMN
- ◇ BRACING LOCATION
- ◇ CANOPY ABOVE
- ◇ CONCRETE FILLED METAL DECK
- ◇ LOW-E DUAL-PANE INSULATED GLAZING UNIT
- ◇ CONCRETE FILLED METAL STAIR
- ◇ STEEL GUARDRAILS
- ◇ METAL PANEL COLUMN WRAP
- ◇ LOW WALL GUARDRAIL
- ◇ ROOF ACCESS LADDER & HATCH



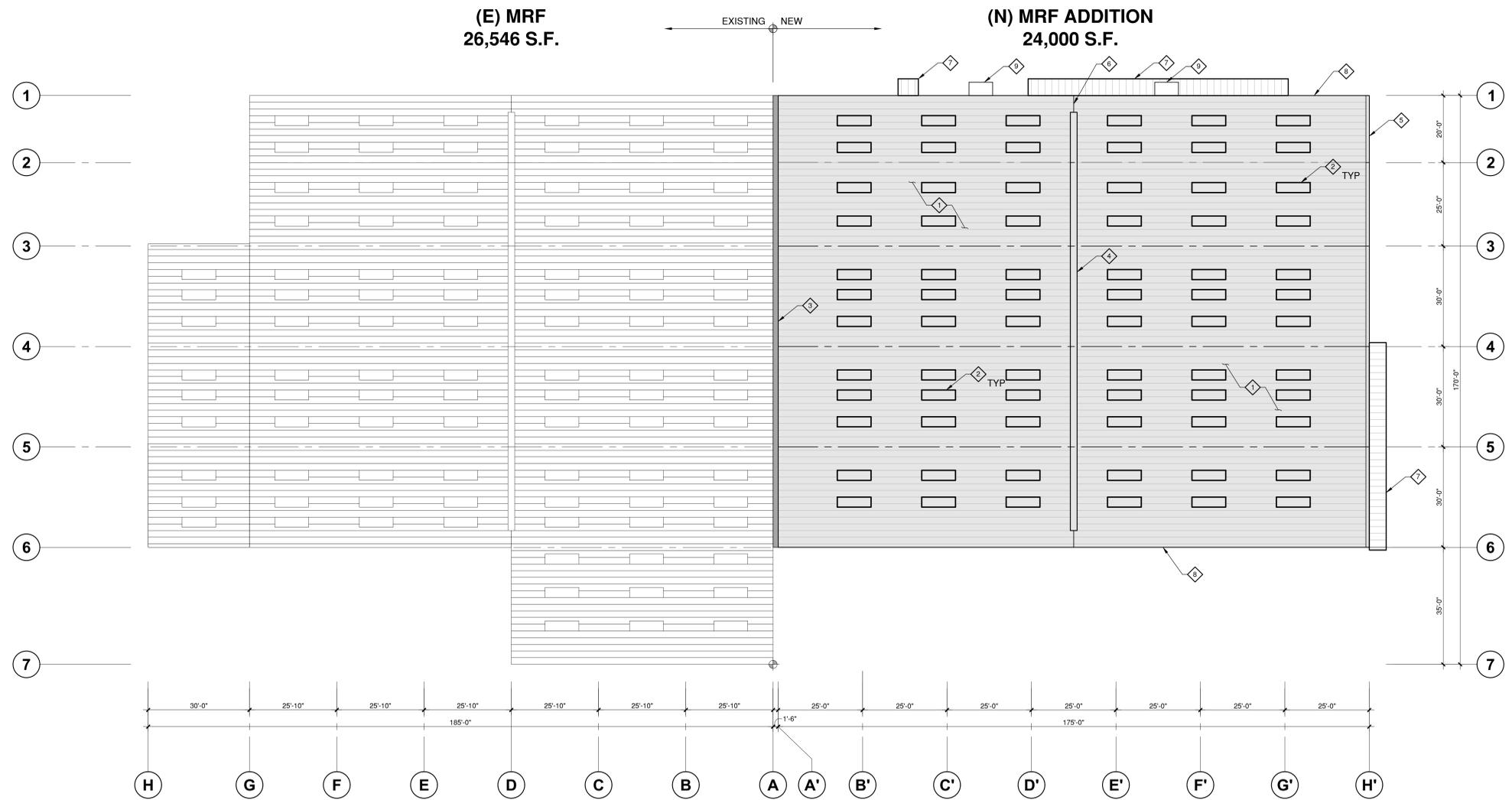
KEYNOTE

- ◇ PEDESTRIAN DOOR
- ◇ 22'-0 WIDE x 25'-0" HIGH OVERHEAD COILING DOOR
- ◇ RIGID FRAME COLUMN
- ◇ ENDWALL COLUMN
- ◇ BRACING LOCATION
- ◇ CANOPY ABOVE
- ◇ CONCRETE SLAB
- ◇ VERTICAL METAL WALL PANEL (MATCH EXISTING)
- ◇ PRE-FABRICATED SEISMIC JOINT COVER
- ◇ 8" Ø 5' TALL CONCRETE FILLED STEEL BOLLARD, 4 TYP AT EACH OVERHEAD COILING DOOR



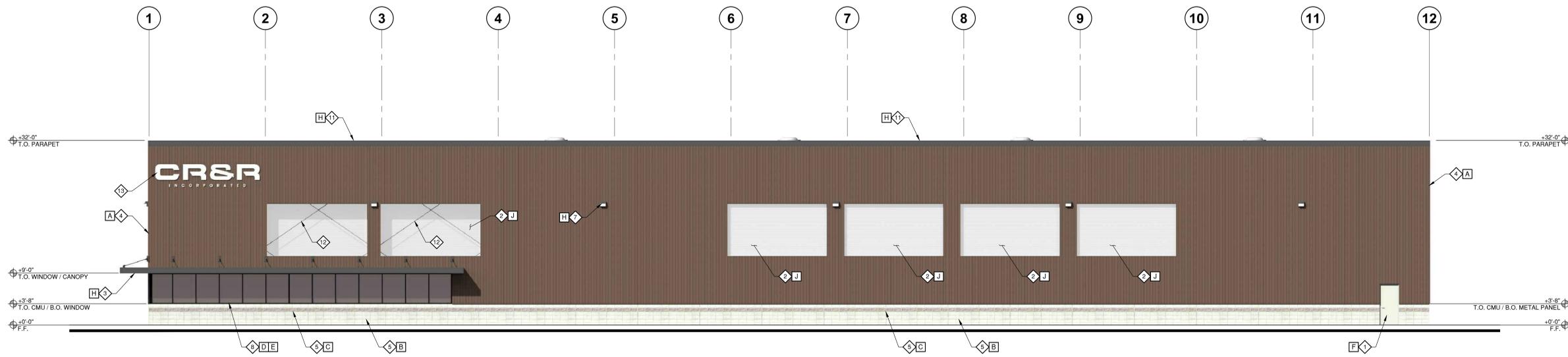
KEYNOTE

- ◇ 24 GA STANDING SEAM METAL ROOF PANEL: BUTLER MR-24 OR APPROVED EQUAL
- ◇ VP PRISMAX SL SKYLIGHT OR APPROVED EQUAL
- ◇ CONTINUOUS STAINLESS STEEL GUTTER
- ◇ ROOF DRAIN AND OVERFLOW
- ◇ PARAPET CAP, TYP (SEE EXTERIOR ELEVATIONS)
- ◇ NOT USED
- ◇ EXHAUST FANS
- ◇ ROOF ACCESS HATCH

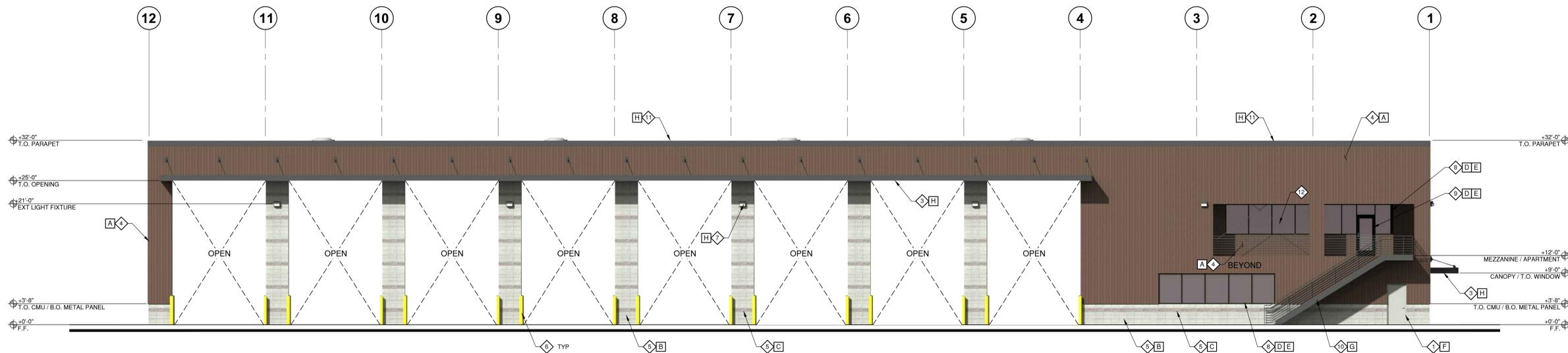


KEYNOTE

- ◇ 24 GA STANDING SEAM METAL ROOF PANEL: BUTLER MR-24 OR APPROVED EQUAL
- ◇ VP PRISMAX SL SKYLIGHT OR APPROVED EQUAL
- ◇ CONTINUOUS STAINLESS STEEL VALLEY GUTTER
- ◇ LOW PROFILE RIDGE VENT
- ◇ EAVE GUTTER
- ◇ RIDGE
- ◇ CANOPY BELOW
- ◇ RAKE TRIM
- ◇ EXHAUST FAN & DUCTING



SOUTH ELEVATION



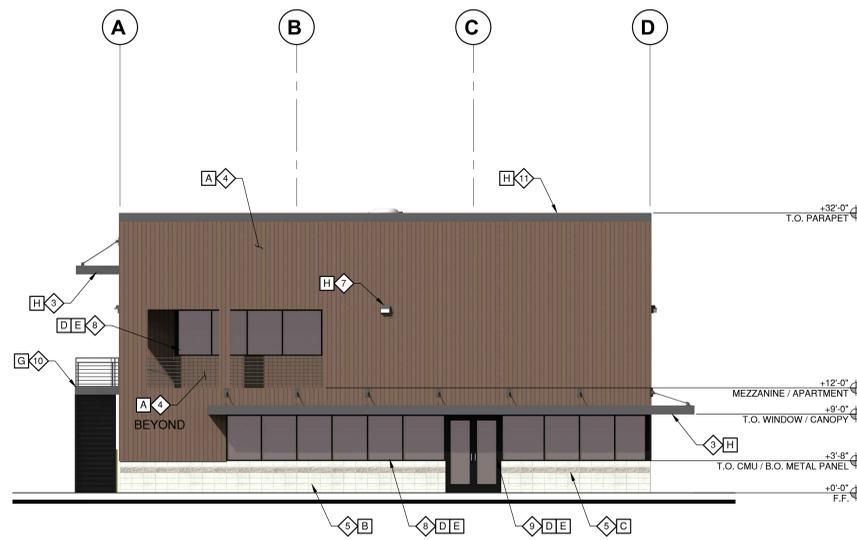
NORTH ELEVATION

KEYNOTE

- ◆ PEDESTRIAN DOOR
- ◆ CPI DAYLIGHTING TRANSLUCENT PANEL
- ◆ PREFABRICATED METAL CANOPY
- ◆ VERTICAL METAL PANEL, PROFILE TO MATCH EXISTING BUILDING
- ◆ 8" THICK CONCRETE MASONRY UNIT WALL
- ◆ 8" Ø 5' TALL CONCRETE FILLED STEEL BOLLARD, 4 TYP AT EACH OVERHEAD COILING DOOR
- ◆ LIGHTING FIXTURE
- ◆ STOREFRONT WINDOWS
- ◆ STOREFRONT DOOR
- ◆ METAL GRATE STAIR
- ◆ PRE-FINISH PARAPET COPING
- ◆ PROPOSED ROD BRACING LOCATION
- ◆ BUILDING SIGNAGE

FINISH KEYNOTES

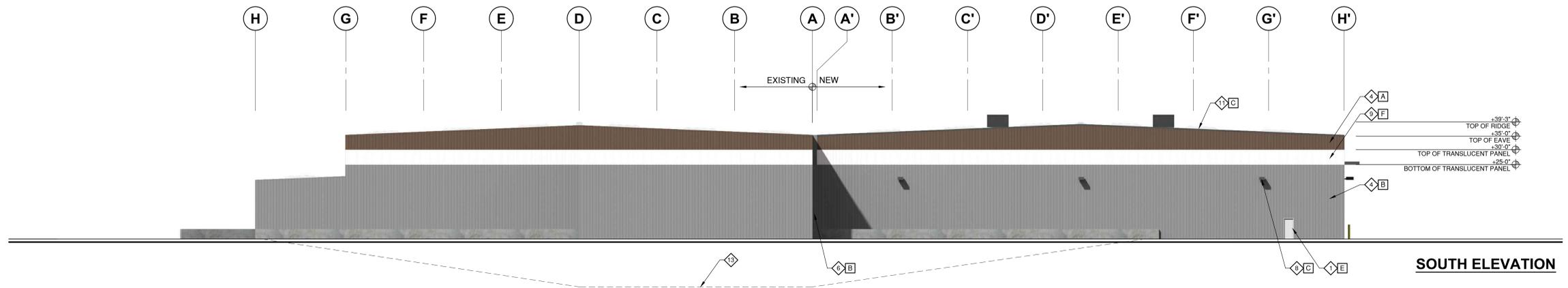
- ◆ A PREFINISHED METAL COLOR: CUSTOM COLOR BY ARCHITECT
- ◆ B ORCO 8x8x16 PRECISION & STACKBOND, COLOR: GREY
- ◆ C ORCO 8x8x16 SPLIT FACE & STACKBOND, COLOR: GREY - BLACK AGGREGATE
- ◆ D ANODIZED ALUMINUM - DARK BRONZE
- ◆ E PPG SOLAR BRONZE / SOLARBAN 60
- ◆ F PREFINISHED COLOR: GRAY
- ◆ G PAINT TO MATCH FINISH H
- ◆ H PREFINISHED METAL COLOR: METAL SALES DARK BRONZE (50)
- ◆ J POLYCARBONATE PANEL COLOR: CPI REFLECTIVE GRAY



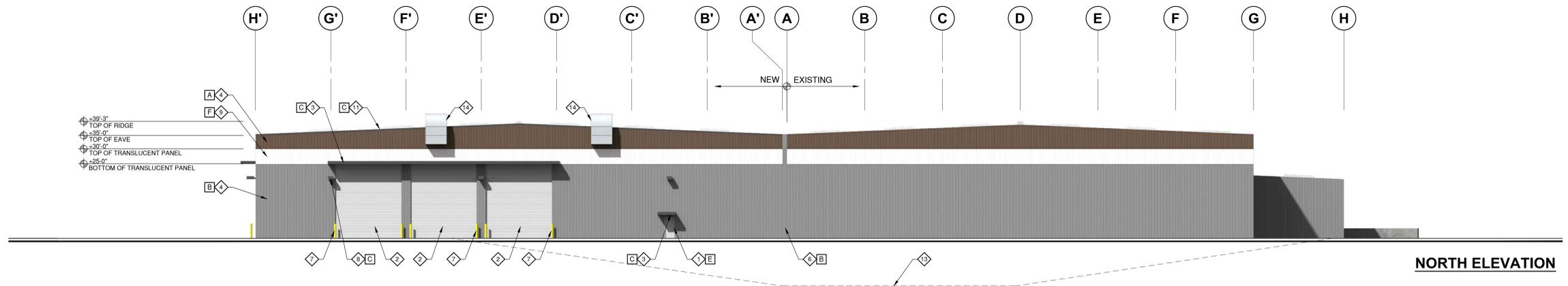
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



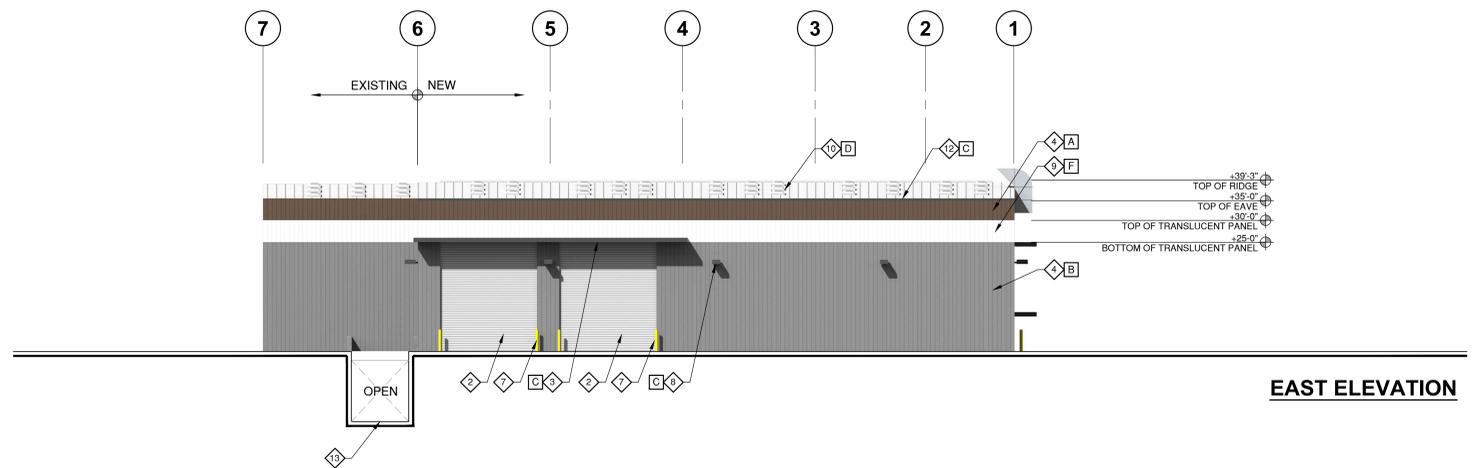
NORTH ELEVATION

KEYNOTE

- ◇ PEDESTRIAN DOOR
- ◇ OVERHEAD COILING DOOR
- ◇ METAL CANOPY
- ◇ VERTICAL METAL WALL PANEL, PROFILE TO MATCH EXISTING BUILDING
- ◇ NOT USED
- ◇ PRE-FABRICATED SEISMIC JOINT COVER
- ◇ 8" Ø 5' TALL CONCRETE FILLED STEEL BOLLARD, 4 TYP AT EACH OVERHEAD COILING DOOR
- ◇ LIGHTING FIXTURE
- ◇ CPI DAYLIGHTING TRANSLUCENT PANEL
- ◇ METAL ROOF PANEL
- ◇ RAKE TRIM
- ◇ EAVE TRIM
- ◇ (E) LOAD-OUT TUNNEL
- ◇ EXHAUST FAN & DUCTING

FINISH KEYNOTES

- A PREFINISHED METAL COLOR: CUSTOM COLOR BY ARCHITECT
- B PREFINISHED METAL COLOR: METAL SALES SLATE GREY (W38)
- C PREFINISHED METAL COLOR: METAL SALES DARK BRONZE (50)
- D PREFINISHED METAL COLOR: METAL SALES SNOWDRIFT WHITE
- E PREFINISHED COLOR: GRAY
- F POLYCARBONATE PANEL COLOR: CPI REFLECTIVE GRAY



EAST ELEVATION

