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## SECTION 6 COMMUNITY DESIGN GUIDELINES

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### 6.0 COMMUNITY DESIGN GUIDELINES

#### 6.1 PURPOSE AND INTENT

The Colton's Hub City Centre Specific Plan Amendment (CHCCSP) Community Design Guidelines provides standards and guidelines for all major community design elements: site planning, architecture, monumentation, landscape, signage, lighting and other improvements in order to implement the "Vision" and "Principles" identified in Section 2.0, Community Planning and Design Principles.

Sketches, exhibits and representative project photographs are intended as visual aids in conveying basic design intent. They are provided as a "palette" of design elements to guide the design of the various sites but are not intended to be interpreted literally or to depict any actual lot or building design. Architects, engineers, landscape architects, developers, builders and others involved with project design of each individual parcel are encouraged to use creativity and imagination in developing their precise design proposals and to build upon these guidelines. Refer also to Section 4, Development Regulations, for each of the respective land use types.

All project applications shall be in substantial conformance with these guidelines. As used in this section, "shall" indicates a requirement and "should" indicates a guideline that is strongly recommended and is subject to discretion by the Development Services Director or his / her designee and / or Planning Commission during the development application review process. The renderings and sketches that follow include the Specific Plan project name "Colton's Hub City Centre". The City Council has sole discretion to revise the project name at a future date.

## 6.2 DESIGN GUIDELINE OBJECTIVES

The primary objectives of these Guidelines are to:

1. Provide guidance and criteria to City staff, the Planning Commission and City Council in the review of future development applications.
2. Implement the Vision and Principles identified in Section 2.0, Community Planning and Design Principles, including the following:
  - Establish design elements that create a village environment.
  - Establish and encourage pedestrian connectivity among various land uses.
  - Provide emphasis on the pedestrian and pedestrian scaled design elements.
  - Create a community design that will add value for property owners, future residents, businesses, and the City as a whole.

## 6.3 COMMUNITY IDENTITY / VILLAGE ENVIRONMENT

Most memorable communities with a village type environment share certain common characteristics. They are walkable, include quaint parks and beautiful tree shaded streetscapes with rich landscaping in residential and commercial / business areas. They have a distinct identity that comes through due to a combination of quality architectural and landscape design elements, including enhanced entry monumentation, street furnishings and signage. They are also pedestrian scaled: interior streets are primarily two lanes, architectural elements visible from the public domain are more highly detailed with special attention to building forms, roof lines, and entries, windows, and other elements that enrich the community. There is also a timeless quality, one that improves in character and charm over time. These types of village settings are frequently referred to as “Early California” vernacular. Examples of these settings can be found in many older communities such as Pasadena, Claremont, and Riverside.

This Early California vernacular has been selected as the guiding design influence for the CHCCSP. For residential areas, it opens the door to a wide diversity of architectural influences such as Monterey, Spanish Eclectic, Craftsman and Cottage styles, among others. Within the retail areas and particularly the Main Street elements, Early California influences provides a wide range of architectural elements, with pedestrian scaled store fronts that incorporate a rich variety of materials such as stone and brick. For the office and business parks, the village character can be achieved by providing a campus like setting, with tree shaded parkways in public streets and well landscaped project areas.

The guidelines in this Section identify the quality and character envisioned for the CHCCSP to implement this Early California vernacular. All development proposals for the CHCCSP shall meet or exceed the quality shown.

The guidelines are organized into the following sections:

- RETAIL
- OFFICE
- BUSINESS PARK
- RESIDENTIAL
- RESIDENTIAL SITE LANDSCAPE, WALLS AND FENCES
- COMMUNITY STREETScape MASTER PLAN
- COMMUNITY ENTRY MONUMENTS, WALLS AND FENCES
- COMMUNITY LANDSCAPE GUIDELINES
- OUTDOOR LIGHTING

## 6.4 RETAIL GUIDELINES

### OBJECTIVES

The objective for Retail areas is to promote development of a vibrant walkable Village Center Hub that includes a “Main Street”, entertainment and hospitality components combined with large format department stores, large format national retail stores and other support uses. The many existing and planned uses near the Center will add to its vitality.

With the planned nearby office, business park and residential uses, there is likely to be a substantial number of people that will walk to the Retail areas. This is in addition to the potential use by many of those who are employed by or visit the ARMC. Therefore, during all phases of planning and development, a strong emphasis should be placed on creating pedestrian connectivity to the adjacent and nearby uses.

The Retail Guidelines are divided into several categories as follows:

- Main Street
- Northwest Corner of Pepper Avenue and Valley Boulevard
- Large Format Buildings
- Hotel and Motels
- Service Stations and Car Washes
- Drive-through Businesses

Each of the above categories is subdivided into Site Planning / Landscape Guidelines and Architectural Guidelines below. Refer in particular to Section 4.0 Development Regulations, and to Section 7.3.4, for Master Planning requirements for all Retail (R) planning areas.

## MAIN STREET - SITE PLANNING / LANDSCAPE GUIDELINES

Main Street “lifestyle centers” typically provide specialty goods, services and restaurants with outdoor patios and dining areas in a village atmosphere, reminiscent of early California Main Streets. These lifestyle centers are typically located within a larger shopping center context. This retailing model, mixing small scale shops and restaurants along a central Main Street within a larger shopping center setting, has become more popular throughout the Inland Empire and nationwide as it combines small village scale shopping and dining with the convenience of having all major national scale retailers in one location. Since shoppers at these centers are inclined to visit more than one store, and tend to spend time browsing through several shops, retail sales are often greater.

Figure 6.1 conveys the overall concept of a Main Street for Colton’s Hub City Centre. It is set within the context of a larger shopping center. The Arrowhead Regional Medical Center, north of the I-10 Freeway and Valley Boulevard, is shown along the right portion of the rendering.

The renderings illustrate the goals for PA 16 and includes specialty shops, restaurants with outdoor seating areas, small plaza / fountain areas and thematic lighting.

The building locations in the rendering are shown for conceptual purposes. The goal is to provide future shopping center developers with an overall concept to guide future detailed plans. The following provides various considerations to be taken into count during the planning and design of the Main Street:

1. To create an attractive and vibrant pedestrian scale Main Street setting, enhance walkways in fronts of buildings with landscaping, thematic lighting fixtures, benches, trellises, and other decorative features. Organize buildings to encourage pedestrian circulation between stores and adjacent uses. Minimum walkway widths adjacent to buildings should be 12 feet to provide ample room.
2. Provide an arch way or equivalent architectural feature at the primary entry area from Valley Boulevard and/or Pepper Avenue as shown in Figure 6-2.
3. Orient primary store entries and windows to the Main Street so they are easily identifiable and inviting as shown in Figure 6-3.
4. Provide a roundabout to create a focal point for the Main Street and include a fountain and/or other focal element such as a sculpture or specimen tree. Figure 6-4 illustrates a concept with a fountain in a roundabout.
5. Seek to incorporate a movie theater complex in any master plan concept within Planning Area 16 and orient it to the Main Street as an architectural focal point. See Figures 6-5.
6. Provide one row of parking (parallel, perpendicular or angled) on the Main Street on each side of the street. All other parking shall occur in the rear of the Main Street with pedestrian access between buildings to meet minimum parking stall requirements.
7. In areas between buildings that link parking lots to the Main Street pedestrian, include pedestrian walkways a minimum of fifteen feet (15’) wide



A 'Main Street' component is shown above in the context of a larger shopping center complex.



This rendering illustrates the character envisioned for the 'Main Street'.



Incorporate an archway with signage to create a prominent Main Street entry.



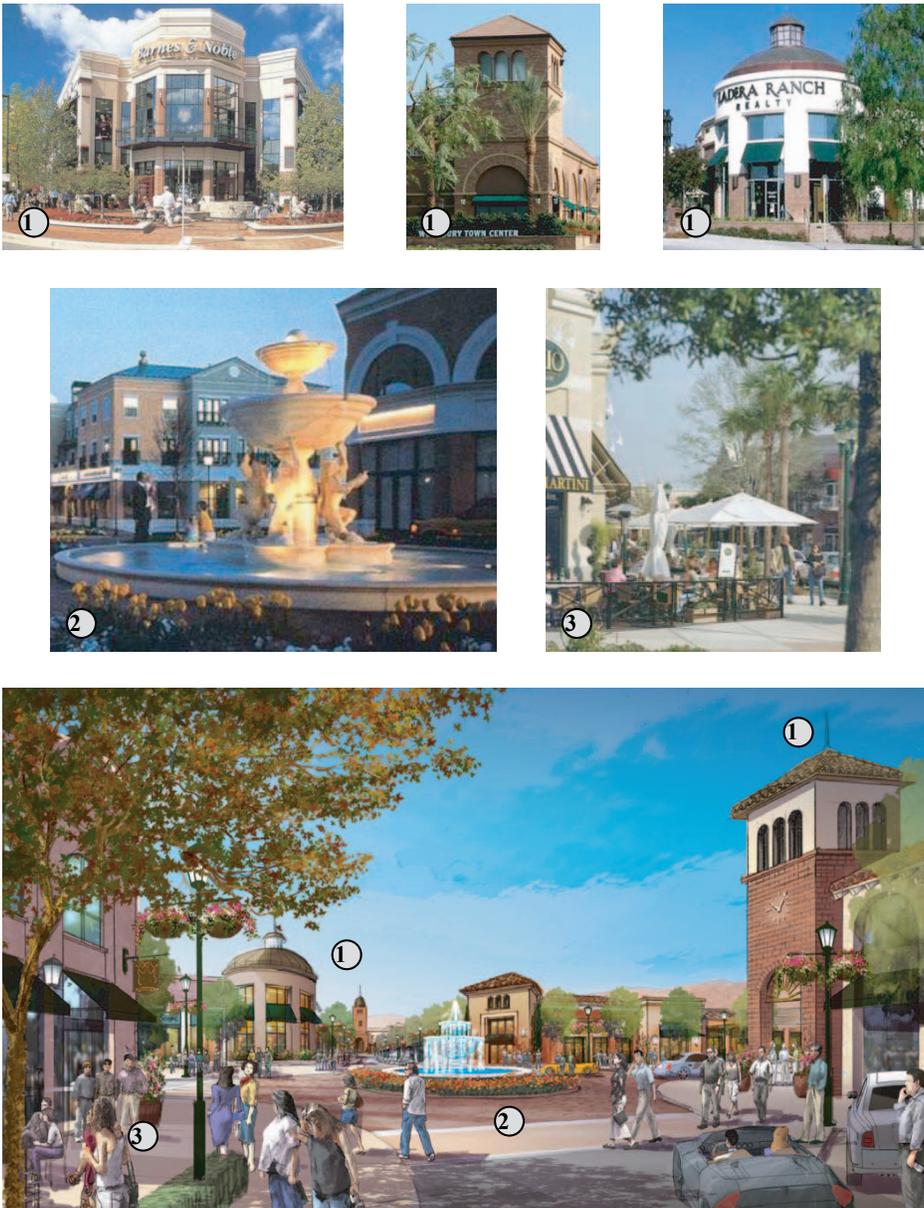
Provide lighting to enhance night time character.

FIGURE 6-2  
MAIN STREET ENTRY GUIDELINES



Vary 1 and 2 story building massing. Second stories may be false facades only. Incorporate brick, stone and other materials to create variation. Avoid continuous unbroken facades.

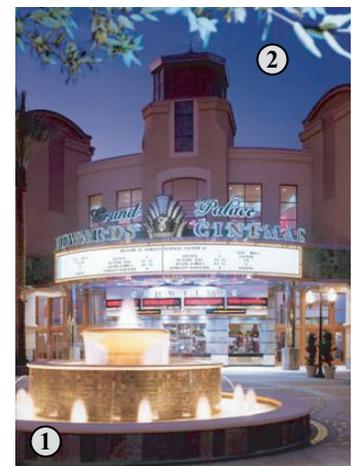
FIGURE 6-3  
RETAIL MAIN STREET ARCHITECTURE GUIDELINES



- 1. At entry points from major streets and at intersections along the Main Street, provide architecturally enhanced corner elements.
- 2. Provide a round-a-bout at central location on the Main Street with decorative fountain.
- 3. Outdoor patios at restaurants encouraged, corner locations preferred.

FIGURE 6-4  
MAIN STREET ARCHITECTURAL GUIDELINES

COLTON'S HUB  
CITY CENTRE  
SPECIFIC PLAN



1. Include a fountain and plaza as a focal point and gathering area in any movie theater location.

2. Provide variation in form, massing and color.

FIGURE 6-5  
MOVIE THEATER GUIDELINES

and a trellis. Provide pedestrian links to public sidewalks and plaza areas from retail buildings.

8. Incorporate future Omnitrans bus rapid transit system routes into final design concepts. Provide bus stops with seating and a shade canopy along all major streets.
9. Locate refuse bins and their enclosures behind buildings and screened with walls and landscape. Include a planter area with vines to soften the wall.
10. Locate loading docks and service areas in the rear of buildings and screened from public view. Design loading areas to prevent truck back-up maneuvers from or onto the public rights of way.
11. Parking areas and parking lots, including cross walks shall be well lighted. Provide cut-off type luminaires to avoid glare.
12. Enhance parking areas with canopy / shade trees. Screen all parking areas through use of landscaped berms, low masonry walls and / or hedges from public view.
13. Incorporate trees into tree wells or planting strips along the walkways in from of buildings facing the Main Street. Locate trees no greater than thirty five (35') feet apart to soften and complement the building elevations and to provide shade for the pedestrian.
14. Provide enhanced paving on main pedestrian pathways in parking lots. See Figure 6-6.

#### MAIN STREET - ARCHITECTURE GUIDELINES

1. Incorporate appropriate architectural styles reminiscent of California's rich heritage, including, Monterey, Mission, Spanish eclectic, among others. Art deco is a style that could be complementary for the movie theater or as an accent use such as a thematic diner. Refer to Figures 6-3 through 6-5 for examples that meet the intent. Inappropriate styles would be high-tech, modern or rustic.
2. Provide vertical and horizontal variations on building wall planes, building projections, and door and window bays visible to the public. Also provide large windows, colonnades, awnings, and variation in materials.
3. Design all buildings to pedestrian scaled, e.g., massing and form should not overwhelm the street.
4. A variety of roof types are encouraged. Distinct and interesting rooflines are preferred. Flat roof structures are permitted providing there is variation in heights along the lengths of buildings. Long, unbroken horizontal rooflines are prohibited.
5. The architecture for franchise shops and restaurants, particularly fast food restaurants, should incorporate architectural elements that relate to the overall retail theme of the project.
6. Include a minimum of one significant vertical element extending above the tallest roof lines to provide a focal point and a view terminus on the Main Street.
7. Decorative awnings, covered walkways, and other enhancements are



Main pedestrian pathways in parking lot to include specialty paving such as colored stamped AC paving, stamped concrete or pavers.

FIGURE 6-6  
PEDESTRIAN WALKWAY GUIDELINES

encouraged as accents.

8. Incorporate one and two-story building massing, with preference for a greater percentage of two-story elements, to create a stronger traditional Main Street character. False second-story elements may be incorporated to provide second story building massing.
9. Provide accent materials such as stone, brick, manufactured stone, accent colors, door and window details, and other enhancements along the first floor level and along all building facades visible to the public. Avoid long unadorned building facades.
10. Include storefront signage along rear facades facing parking lots and / or public spaces in addition to facades facing the Main Street. All signs should be pedestrian oriented in scale.
11. Design building elevations with multiple store front designs instead of one uniform elevation. The intent is to create an eclectic mix of elevations consistent with an Early California vernacular that provides an attractive Main Street character and scale. Provide architectural enhancements on all building corners of the Main Street. Refer to Figure 6-3.
12. Prohibit freestanding fast food drive-thru restaurants on the Main Street as they are not consistent with the character and intent. Fast food restaurants, non-drive thru, may be permitted provided they are incorporated into the overall Main Street architectural character.
13. Provide accent tree planting at all vehicular access points into the site, except service entries.
14. Screen all parking areas from public streets through use of landscaped berms, low masonry walls and/ or hedges.

#### NORTHWEST CORNER OF PEPPER AVENUE AND VALLEY BOULEVARD - SITE PLANNING / LANDSCAPE ARCHITECTURAL GUIDELINES

The northwest corner of Pepper Avenue and Valley Boulevard within Planning Area 16 will be important in establishing a strong and attractive identity for the community and for the retail center in particular. Therefore special guidelines are provided below.

1. Provide a combination fountain, sign monument and plaza. Refer to Figure 6-7 for general design intent.
2. Provide pedestrian access through the plaza at the corner of Pepper Avenue and Valley Boulevard to access shopping areas and the Main Street.
3. Provide specialty paving to enhance the entry character. Paving examples include colored concrete with decorative score lines, colored stamped concrete or stamped AC paving, brick, masonry or other similar materials.
4. Provide accent lighting for the fountain and entry sign.
5. In order to insure that the corner to the retail center is attractive and inviting, fast food drive thru restaurants shall be subject to a conditional use permit that demonstrates the design intent illustrated in Figure 6-7 can be met.
6. All site planning, landscape and architectural guidelines listed under the Main Street Guidelines above apply to the northwest corner.



At the northwest corner of Pepper Avenue and Valley Boulevard incorporate a combination entry monument and cascading fountain



Example of cascading fountain.

### LARGE FORMAT STORES – SITE PLANNING AND LANDSCAPE GUIDELINES

Large format (department stores and retailers greater than 15,000 square feet) describes development characterized by larger than average retail square footage under one roof. Large format retail development requires extensive parking to accommodate higher parking demand. Within all Retail (R) or Retail Mixed Use (RMU) areas, other than the Main Street or the Northwest retail corner described above, traditional larger format stores are permitted.

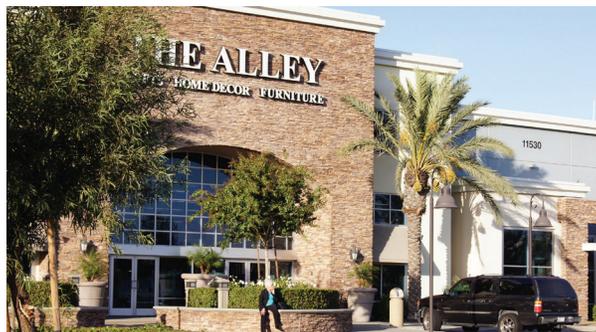
1. Provide ample walkways a minimum of twelve feet (12') in width in front of all buildings to encourage pedestrian use. Also include trees in planting areas or tree wells, at an average of thirty-five feet (35') on center, within walkway areas adjacent to stores to soften and complement the building elevations and provide shade for the pedestrian. Within common areas provide benches, shade trees, and specialty paving such as colored concrete, colored pavers, or other similar materials.
2. Provide pedestrian walkways to link to the Main Street and surrounding community.
3. Include vehicular access to connect to N. Eucalyptus Avenue.
4. Design entrances and exits to avoid interference with traffic flow along adjacent streets.
5. Locate refuse bins and their enclosures behind buildings and screen with walls and landscape. Include planter areas with vines to soften the wall.
6. Design loading areas to minimize direct exposure to public view and to prevent truck back-up maneuvers from or onto the public rights-of-ways.
7. Screen loading areas with landscaping to reduce visual impacts.
8. Provide lighting in parking areas and parking lots, including cross walks to the satisfaction of the Development Services Director. Cut off type luminaries shall be provided to avoid glare.
9. Design all ingress and egress into the retail center to minimize impacts on the surrounding uses while permitting ease of access to the center.
10. Enhance parking areas with canopy / shade trees.
11. Provide accent tree planting at all vehicular access points into the site, except at service entries.
12. Screen all parking areas from public view through use of landscaped berms, low masonry walls and/ or hedges.
13. The following minimum tree sizes apply for all development: 5% - 36" box, 15% - 24" box and 80% -15-gallon.

### LARGE FORMAT STORES – ARCHITECTURE GUIDELINES

1. A variety of roof types are encouraged. Distinct and interesting rooflines instead of flat roofed structures are recommended.
2. Include a substantial cornice at the top of a parapet wall or other enhancements.
3. Provide an identifiable base on all big box buildings extending two (2) or more feet up from the finished grade.



Along building fronts provide a walkway enhanced with landscape and specialty lighting.



Provide variation in forms and massing, combined with large recessed windows, substantial cornices and enhanced building materials.

4. Include highly resistant base materials to damage, defacing, and general wear and tear. Precast decorative concrete, stone masonry, brick, manufactured stone and commercial grade ceramic tile are examples of acceptable base material.
5. Where practical, locate small retail buildings adjacent to big-box buildings with access from the parking lots areas to create a more human scale setting.
6. To mitigate the appearance of large blank walls visible from public rights of way, incorporate exterior wall treatments such as arcades, portico's, insets, colonnades, awnings, windows to create variation in massing and materials.
7. Design outdoor gardening facilities or similar outdoor use areas to complement the architecture of the primary building as well as overall site design.
8. Refer to Figure 6-8 for examples that incorporate the design guidelines above.

#### HOSPITALITY – SITE PLANNING AND LANDSCAPE GUIDELINES

Multiple opportunities exist for hotel and motel sites within the Retail (R) and Retail Mixed Use (RMU) land use categories to serve business and recreational travelers. The proximity to restaurants and shopping uses creates an ideal condition for travelers, who typically prefer lodging where they can drive short distances or walk. Hotels and motels may also serve the needs for families of patients at the ARMC and who desire overnight lodging.



While the rendering above shows two hotel locations near the I-10 Freeway and Pepper Avenue interchange, the design guidelines apply to any location, refer also to Figure 6-9.

1. In order to create a presence along a major street frontage, provide direct access to the building along an entry drive and to avoid driving through the parking lot.
2. Provide enhanced landscaping on all street front setback areas, along the building base, adjacent to entrances to hotels and motels, and along property lines visible from offsite or from guest access areas.
3. Provide short term parking spaces near the reception/check in areas.
4. Screen delivery and loading areas to minimize impact on sensitive uses.
5. Screen all mechanical equipment of all types, including swimming pool equipment, to minimize impacts on adjacent uses and from the public right-of-way.



Establish a primary presence along the major street frontage with the building or entry canopy. Screen parking lots from public view.



Provide an entry canopy visible from the street that creates a sense of entry and provides shade for visitors.

6. Design recreational facilities such as swimming to offer privacy to facility users.
7. Avoid locating driveway, garage ramps or loading and service areas where they interfere with the flow of pedestrian movement or impact the privacy of guestrooms.
8. Utilize parking lots and other open spaces on the site to create a buffer between the hotel/motel and the freeway.
9. Screen all parking areas from public view through use of landscaped berms, low masonry walls and/ or hedges.

#### HOSPITALITY – ARCHITECTURE GUIDELINES

1. Divide building bays along the building facades to create interest and in order to avoid long unarticulated wall façades.
2. Design walkway, stairway, balcony railings and other similar details to be visually and stylistically consistent with the basic building design.
3. Exterior corridors on multi-level buildings over two stories located adjacent to residential uses are prohibited.
4. Ensure that all guest rooms are accessible from hallways for structures over two stories, and avoid room entrances directly adjacent to parking lots or exterior walkways.
5. Refer to Figure 6-9 for examples that incorporate the design guidelines above.

#### SERVICE STATIONS AND CAR WASHES – SITE PLANNING AND LANDSCAPE GUIDELINES

Service stations and car washes are highly utilized uses characterized by unique site features including: Intensive on-site vehicle utilization, on-site repair and servicing, large expanses of paving, use of equipment and machinery, and use of potentially hazardous materials. In order to complement the overall village character for the CHCCSP area, the following site and landscape guidelines shall apply.

1. Orient building elevations containing service or repair bays away from public streets or toward residential uses within three hundred feet (300') of the property.
2. Group structures together and integrate them into the overall design of a site.
3. Locate service bay door and car wash entry and exit openings away from public streets or residential areas, and provide screening with landscaping to reduce visibility.
4. Provide landscaping within required setback areas consistent with the development regulations and other sections of the Community Design Guidelines. Screen all parking areas from public view through use of landscaped berms, low masonry walls and / or hedges.
5. Provide a fuel delivery truck lane through the site with a minimum turning radius of forty feet (40') and provide for right side unloading of the vehicle into underground tanks.
6. For projects located at street corners provide strong design elements to



Provide reverse frontage which focuses the building inward towards the shops and stores. Vary building massing and produce a clearly defined entry.



Incorporate a canopy that complements the building architecture.

FIGURE 6-10  
SERVICE STATION GUIDELINES

anchor the corner. This can be accomplished using built elements and attractive landscaping features.

7. Enclose storage facilities within the primary structure on the site.
8. Design self-service car wash bays, drying and vacuuming areas to avoid conflict with on-site vehicular circulation.
9. Design self-service car wash bays, and drive-through car wash facilities to ensure all drainage is confined on-site.
10. Provide two-way vehicular access between uses when a service station abuts a commercial development.
11. Shade canopies or structures for a car wash, whether temporary or permanent, shall require approval of the Development Services Director or his / her designee.
12. Provide a seating plaza / customer waiting area with shade trees for drive thru car washes. This is not required for drive thru's that do not provide attendants to wash cars.

#### CIRCULATION AND PARKING

1. Design the site so that fuel trucks are able to enter and exit a site with ease and to minimize maneuvering to park and unload.
2. Locate filling pumps, car wash bays, or other on-site facilities to avoid vehicle stacking or overflow onto adjacent streets. Provide vehicle stacking for a minimum of two vehicles per filling pump side.
3. Locate self-service facilities, such as water and air, or telephone so that they do not obstruct on-site circulation.
4. Design all security fencing, in addition to required perimeter walls to be consistent and in character with adjacent architecture.
5. Provide roll-up (or similar) doors at all service bays. Locate all operating mechanisms within the interior of the structure.

#### SERVICE STATIONS AND CAR WASHES- ARCHITECTURE GUIDELINES

1. Provide architectural variation and interest and all building elevations. For all building elevations facing public streets, provide enhanced architectural elements. Refer to Figure 6-10.
2. Design all service station buildings in context with the site and complementary to community design standards for adjacent site's.
3. Avoid corporate or franchise design, except for logos and signage, that does not relate to the overall community character.
4. Design all pump island canopies and canopy / shade structures at car wash facilities with a hip, gable, barrel vaulted, or other roof system to match the architecture of primary structures on the site. Avoid continuous flat roof structures. Temporary canopies are subject to approval by the Development Services Director. See Figure 6-10.
5. Architectural materials to be high quality, durable building materials. Avoid reflective, glossy and fluorescent surfaces.
6. Enclose car wash equipment within a permanent structure.

7. Incorporate noise control in car wash building design that minimize noise generated by machinery, blowers, or other mechanical equipment.
8. When service stations / car washes include retail store components, fifty percent (50%) of unobstructed, clear glass is recommended for the store front portion facing a public street.
9. When service stations / car washes include retail uses, provide a clearly defined pedestrian path from required on-site parking to the primary customer entrance.

#### DRIVE-THROUGH BUSINESSES – SITE PLANNING AND LANDSCAPE GUIDELINES

Drive-through businesses include restaurants, banking institutions with drive up teller / ATM access, or other similar facilities. Drive-through businesses require additional site design considerations to mitigate vehicular access, on-site circulation visual and noise impacts. The following supplementary guidelines shall be incorporated into any development providing drive-through service.

1. Create a primary visual presence along the major street frontage with the building, not the parking lot or drive-through lane. To do so, it is recommended that buildings should be located at the minimum front setback line.
2. Screen drive-through aisles from the view of street frontage and adjacent parking areas. through use of landscaped berms, low masonry walls and/or hedges.
3. Locate drive-through aisles away from adjacent residential structures. Place menu board speakers to protect adjacent areas from excessive noise.
4. Design drive-through lanes to accommodate car back up at menu board.
5. The following drive-through design features are recommended - a drive-through lane with a minimum length of one hundred sixty feet (160'), including the following:
  - ❑ A distance of one hundred feet (100') from the center of the pick-up window or the pay window, whichever is first.
  - ❑ A distance of one hundred feet (100') from the order or menu board.
  - ❑ Separation of the “drive-through” traffic from pedestrian traffic, vehicular traffic and parking.
  - ❑ Maintain a separate and distinct drive-through lane separate from the parking area.
  - ❑ Drive-through lane widths with a minimum of ten feet (10') and twelve feet (12') at curves.
  - ❑ Driveway interference – queuing and circulation must not interfere with ingress and egress at driveways.

#### DRIVE-THROUGH BUSINESSES - ARCHITECTURE GUIDELINES

1. Provide enhanced architectural treatment on building elevations facing public streets, whether such elevations function as the front, side, or rear of the building.
2. Screen roof top equipment from public view.



Screen drive-thru lanes with hedges, landscaped berms and / or low walls.



Design building with variation in form, massing and color. Include a covered patio that complements building architecture.

FIGURE 6-11  
DRIVE-THRU GUIDELINES

3. If the drive-through is part of a shopping center, design the architecture to be compatible with the design of the center.

## 6.5 OFFICE GUIDELINES (OFC)

Office Guidelines are intended for all land uses which permit office uses, including Office Mixed Use, Business Parks and Retail Mixed Use areas. One of the primary goals for office buildings areas is to create an office park setting, one that will allow unique designs for individual parcels while at the same time establish unifying elements that complement the overall community.

Additional goals include: 1) creating an office park with quality buildings and landscape that over time will mature into a campus style setting that will enhance the village character of the community, 2) providing pedestrian and vehicular connectivity to the community and, 3) accommodating the needs for functionality in order to be responsive to a broad cross-section of office park developers and tenants.

Refer to the sketches, plans and photographs in Figures 6-12 through 6-14.

### OFFICE - SITE PLANNING AND LANDSCAPE GUIDELINES

1. In order to create an office park campus atmosphere along Valley Boulevard, locate parking areas on the rear or side areas so only landscaping and walkways will occur between the boulevard and building.
2. In order to facilitate location of the entry and to enhance the architecture, identify primary entries to buildings with a prominent element such as an architectural canopy or deep building recess or other similar element.
3. Link office buildings together with pedestrian walkways. Also, to encourage walking in the community, link office buildings to public sidewalks within the nearest street public right-of-way.
4. Where two or more buildings are located on one lot, provide an outdoor courtyard, plaza or other useable space. Include benches, tables, and / or seat walls plus shade trees.
5. Where parking occurs adjacent to a building, provide a minimum of eight and one half (8.5') feet of perimeter landscape. Include trees, shrubs and ground covers in these landscape areas. Whether trees are equally spaced or in groupings, an average spacing of thirty-five feet (35') is recommended. The following minimum tree sizes apply for all development: 5% - 36 " box, 15% - 24" box and 80% -15-gallon.
6. Enhance parking areas with canopy type shade trees.
7. Screen all parking areas from public view through use of landscaped berms, low masonry walls and/ or hedges.
8. Enhance a minimum of one primary vehicular entry area with special paving. Examples of enhanced paving include colored concrete with decorative score lines, colored stamped concrete or stamped AC paving, brick, masonry or other similar materials.
9. Loading docks and service areas shall be to rear of buildings and screened from public view.

10. Locate refuse bins and their enclosures behind buildings and screened with walls and landscape. Provide a planting area around trash enclosures and plant vines along walls.
11. Provide well lit parking areas and parking lots, including cross walks in accordance with City requirements.
12. Design all ingress and egress into office uses to minimize impacts on the surrounding uses while permitting ease of access.
13. Provide accent tree planting at all vehicular access points into the site, except service access points.

#### OFFICE - ARCHITECTURE GUIDELINES

1. For all office building, consider the characteristics of the site and relate designs to the surrounding built environment in scale and character.
2. Coordinate colors, materials and finishes on all exterior elevations of all buildings to achieve continuity of design. Earth tones are encouraged, consistent with the examples shown in Figures 6-12 through 6-14. Avoid bright orange, pink or other intense colors. Materials may be concrete, stone, brick. In the event stone, brick or other similar material is used, manufactured / cultured stone materials shall be permitted. Such materials shall be of high quality and durability.
3. Locate primary entries so they are visible from a public street and accessible to pedestrian walks that link to other parts of the community.
4. Provide an architectural element at primary entries such as an arch, canopy or other similar element to facilitate locating building entries and to create a sense of entry.
5. Incorporating architectural moldings along the roof line of buildings is recommended to occur on buildings to add interest and to create an overall unifying theme to the community.
6. A variety of roof forms are permitted with the office uses. Gable, hip and flat roofs are all acceptable. Flat roofs should be accented or hidden by a parapet wall. Whichever roof form is selected, all roof top equipment shall be screened with a wall material and color complementary to the building material.
7. Refer to Figures 6-7 through 6-9 for additional guidelines. The descriptions provided with each Figure are intended to identify major design elements that are recommended for all office buildings.



1. Along the I-10 Freeway, create a mixed use office, business park and hospitality corridor.
2. Three examples are shown of the high quality 3 to 5 story office building designs. Primary entries are clearly articulated with an arch or other prominent element, vertical and horizontal changes occur in building planes, and there is variety in window forms and placement to create interest.

FIGURE 6-12  
OFFICE GUIDELINES



1. For projects with more than one building, provide tree shaded courtyards, patios, and / or plaza forecourts for use by employees and visitors.

FIGURE 6-13  
OFFICE GUIDELINES



Each of the examples shown represents 1 and 2 story quality office designs. Entries to buildings are identified with a prominent architectural element, color accents on building planes and window trim are well coordinated, cornices and moldings provide additional interest.

FIGURE 6-14  
OFFICE GUIDELINES

## 6.6 BUSINESS PARK

The following are the goals to create a high quality business park: 1) create a setting with quality buildings and attractive landscape that over time will mature into a campus like environment and complement the “Village” character and vision planned for the CHCCSP area, 2) provide pedestrian connectivity to the overall community, 3) accommodate the needs for functionality in order to be responsive to a broad cross-section of Business Park developers and tenants, and 4) allow unique designs for individual parcels while at the same time establish unifying elements that complement the overall community.

Refer to the sketches, plans and photographs in Figures 6-15 to 6-19 and to Section 4.0, Development Regulations.

### BUSINESS PARK - SITE PLANNING / LANDSCAPE GUIDELINES

1. In order to establish a village scale and campus character envisioned for the CHCCSP, a maximum building length of two hundred twenty-five feet (225') shall be maintained within all Business Park areas. The intent is to avoid big box warehousing and distribution developments and the associated truck traffic, which detracts from the health, safety and welfare of the larger community.
2. Locate Business Park buildings with the primary entry visible from the public street and accessible from pedestrian walks that connect to the street. The intent is to encourage walking to and from other uses within the community.
3. Identify primary entries to buildings with a prominent architectural element such as an architectural canopy or deep building recess or other similar element to provide a sense of entry.
4. Provide attractive landscape areas within building setbacks adjacent to public streets that will reinforce a campus setting.
5. Enhance parking areas with shade trees. Screen all parking areas from public view with a berm, wall, and / or hedge pursuant to the development regulations.
6. Plant landscape areas adjacent to buildings with trees, shrubs and ground covers. Trees may be grouped equally or in groups. In order to soften the building elevation and to promote a campus character, provide tree spacing at an average of thirty-five feet (35') on center. The following minimum tree sizes apply for all development: 5% - 36" box, 15% - 24" box and 80% -15-gallon.
7. Provide a minimum of one enhanced (1) primary vehicular entry area with special paving. Examples of enhanced paving include colored concrete with decorative score lines, colored stamped concrete or stamped AC paving, brick, masonry or other similar materials. Consistency between enhanced paving within each planning area shall be provided.
8. Locate loading docks and service areas to rear of buildings and screened from public view.
9. Locate refuse bins and their enclosures behind buildings and screened

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with walls and landscape. A minimum of a two feet (2') wide planting area, planted with vines, is required around trash enclosures.

10. Provide well lighted parking areas and parking lots, including crosswalks in accordance with City requirements.
11. Design all ingress and egress into office uses to minimize impacts on the surrounding uses while permitting ease of access.

#### BUSINESS PARK - ARCHITECTURE GUIDELINES

1. Simple, clean forms are preferred with prominent architectural elements at corners and / or the mid-section of all buildings emphasizing primary entries.
2. Place special attention on buildings facing the I-10 Freeway, Valley Boulevard and Wildrose Avenue. For buildings visible from these public corridors, the intent is to create a character reflective of an office building complex with clear or spandrel glass along the entire elevation similar to the examples in Figure 6-18.
3. Coordinate colors, materials and finishes on all exterior elevations of all buildings to achieve continuity of design. Earth tone colors, consistent with the examples shown in Figures 6-11 through 6-14 are encouraged. Avoid bright orange, pink or other intense colors. Materials may be concrete, stone, or brick. In the event stone, brick or other similar material is used, manufactured / cultured stone materials are permitted. Such materials shall be of high quality and durability.
4. A variety of roof forms are permitted. Gable, hip and flat roofs are all acceptable. Accent or hide flat roofs with a parapet wall. Whatever roof form is selected, screen all roof top equipment with a wall material and color complementary to the building material.



The white and grey color palette, large windows, scoring patterns and awnings provides more than sufficient interest for one story elevations.

FIGURE 6-15  
BUSINESS PARK GUIDELINES

COLTON'S HUB  
CITY CENTRE  
SPECIFIC PLAN



Roll-up garage doors maintain clear path for small trucks servicing the buildings. Only roll-up garage type doors, versus dock high doors, are permitted. This will effectively limit uses to those services by trucks instead of tractor trailers, which require dock high doors for loading and unloading.



Along rear building service areas, scoring patterns and color palettes similar to front building elevations adds interest and maintains a cohesive architectural theme.

Building service areas and loading areas shall be located along rear of buildings or fully screened from public roadways.

FIGURE 6-16  
BUSINESS PARK GUIDELINES



Alucabond panels located on the top portion of these two buildings provides an attractive alternative to all concrete panels. Between buildings, landscaped courtyards create opportunities for sitting and enhance the character of the business park.

FIGURE 6-17  
BUSINESS PARK GUIDELINES

COLTON'S HUB  
CITY CENTRE  
SPECIFIC PLAN



Large panels of glass, recessed entries with canopies, and use of color all combine to create an attractive elevation. The grey paneled projections reduce the mass of the building.



This close up view of the building above illustrates attention to detail and well-designed signage.



Where visible from public streets, primary vehicular entries and parking lots, extend the architectural elements on the front elevation, along the entire side elevation.



For buildings located side by side, extending the architectural elements and details on the front elevation to approximately 40' from the building face works well with a streamlined design pattern towards the rear due to minimal visibility from the public realm.

FIGURE 6-19  
BUSINESS PARK GUIDELINES

COLTON'S HUB  
CITY CENTRE  
SPECIFIC PLAN

## 6.7 RESIDENTIAL GUIDELINES

As described in the Community Vision, the primary objective for the residential neighborhoods is to create an attractive, pedestrian friendly, village environment with the charm and character of many older California communities. The guidelines and exhibits below provide the methods to accomplish these objectives.

### RESIDENTIAL - SITE PLANNING AND LANDSCAPE GUIDELINES

1. In order to create an attractive street scene, provide “front forward” architecture. This includes locating first floor living areas in front of the garage and turning the garage at a right angle (side-on garages) to the street. Vary building setbacks between the sidewalk and building face in the range of five to ten feet (5’-10’) between adjacent homes, so no two homes are aligned evenly across a street.
2. Provide a minimum of 30% side-on garages of homes along any one street. Include a window on the face of the garage consistent with other windows on the front elevation of the home.
3. Enhance all four sides of the home, also referred to as 360 degree architecture. Include front porches, balconies, pitched roofs and other architectural features that enliven and activate the street for pedestrians.

### ATTACHED HOMES

4. Create a pedestrian scaled setting along streets by orienting living areas to face streets and open spaces with garages located behind homes in alley ways or motor courts. This also provides “eyes on the street” that adds to the community security.
5. Whenever possible, interior buildings should be configured around courtyards, gathering areas and open spaces. Amenities should be provided appropriate to the different age groups.
6. Provide a layering of landscape materials with trees, large and small shrubs and ground covers to enhance each home and the community as a whole.
7. Energy efficiency and energy conservation should be considered in siting of buildings.

### RESIDENTIAL – ARCHITECTURE GUIDELINES

The residential guidelines are intended to promote diversity within the context of an Early California character. Diversity of styles has several advantages including 1) adds architectural richness and interest and 2) providing flexibility to home builders as they will have many architectural options to choose from and will not be constrained by any one particular style.

The examples provided and the guidelines below shall be used as the design criteria for all residential architecture.

### ARCHITECTURAL STYLES

A variety of architectural styles are included in Figures 6-20 through 6-23 that complement the Early California theme including Monterey, Craftsman, Spanish Eclectic and Cottage Styles.

Other Early California styles not described in the following Design Guidelines are permitted providing they are true to their origins and incorporate design features of the period. If a style is requested that is not included in these guidelines, the applicant shall provide exhibits that include the same information as occurs within the architectural style Figures in this CHCCSP. The exhibits shall include color photographs of representative homes / buildings that incorporate the style, along with a summary of the appropriate building and roof form, colors, and details for review and approval of the Development Services Director or his / her designee. Modern or High tech or similar styles not consistent with an Early California heritage shall be avoided. However, for live work homes in Planning Areas 16 and 24, a more contemporary architectural character may be considered, subject to approval of the Planning Commission.

### ARCHITECTURAL STANDARDS

The following summarizes the major design principles that shall be incorporated into each floor plan and all building elevations. Refer to Figures 6-24 to 6-34 for additional principles and guidelines.

**Massing and Scale:** The articulation of building facades and variation in rooflines increases the attractiveness in residential architecture. The location of certain building elements also improves massing and scale. On single-family homes, placing one-story elements on two-story houses at street corners effectively steps down the scale and massing, providing a more pedestrian friendly street scene. Therefore, on corner lot conditions for the single-family homes, architects are encouraged to provide single story elements such as entry canopies, trellises, porches, or other single story architectural enhancements.

**Building Materials and Colors:** Both play an important role enhancing each neighborhood and the community in general. While earth tones are preferred to complement the early California theme, a variety of color palettes are recommended in order to avoid a monotonous or continuous appearance of buildings. Contrasting of a dark trim against a light house color is one example. Examples of preferred color palettes that blend with the community theme are provided in the photographs in Figures 6-20 to 6-34 that follow. Bright orange, pink or other intense colors shall be avoided.

**Window Details:** Window details differentiate architectural styles and provide a high level of architectural enrichment. The selection and proportion of the windows to the facade should be responsive to the architectural style of the building. Size and shape should be considered to assure a balanced relationship with the surrounding roof and walls. Accent shutters are ways to further enhance the architecture and should be in keeping with the scale of the windows. In general, windows should enhance rather than dominate the overall architectural character.

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**Porches and Balconies:** Another way to add to the architectural interest and functionality of a building is to incorporate porches and balconies. They help add depth to a building facade and break up large wall masses. Front porches and balconies also provide a pedestrian friendly scale and opportunity for social interaction. The design of the porch or balcony shall be consistent with the architectural style.

**Columns and Posts:** Whether serving as structural or aesthetic elements, columns and posts can reinforce the theme and character of a particular architectural design. The size and scale of columns and posts will vary depending upon the architectural style and should convey a solid, durable image. They may be freestanding or used as a support.

**The Articulation of Rear and Side Building Facades:** Where homes are visible from streets or alleys, enhancement of rear and side elevations facing the public domain (e.g. public roads, parks, habitat areas) are an important consideration to ensure a quality community. Therefore, the architectural treatments for these conditions shall incorporate architectural enhancements such as enhanced window treatments, moldings, balconies and other appropriate details.

**Floor Plans and Elevations:** For planning areas that include single-family detached homes, a range of floor plans and elevations shall be provided. A minimum of three (3) different floor plans is required for each planning area with a minimum of three (3) elevations required for all detached homes. Matching elevations should not be repeated adjacent to one another or opposite one another. For attached homes, a minimum of three (3) distinct architectural elevations are required for duplexes and triplexes. A minimum of two (2) elevations are required for fourplex or greater buildings unless approved by the Development Services Director or his / her designee due to unique design conditions.



**Cottage** is a picturesque style based on medieval Tudor and Norman domestic architecture. The cottage style became popular nationwide when stone and brick veneer techniques became practical.

**Form:** Rectangular form massing, often asymmetrical.

**Roof:** Main roof hip or gable with intersecting gable roofs:

**Colors:** Typically white, light tinted colors or light earth-tones.

**Details:** Entry accents with stone or faux stone, shutters, smooth stucco wall finish.

FIGURE 6-20  
COTTAGE STYLE ARCHITECTURE GUIDELINES



**Inspired** by the English Arts and Crafts Movement of the late 19th century, the Craftsman Style was focused on artful details and generous use of wood and stone and brick.

**Form:** Rectangular form massing, often asymmetrical.

**Roof:** Simple 2 story massing with vertical and horizontal breaks.

**Colors:** Field are light to dark earth tones, trim is light to dark earth tones contrasting with field areas.

**Details:** Entry porches with square columns or posts on stone or brick piers. Shaped wood header trim at windows and doors. Wood and / or stucco siding.

FIGURE 6-21  
CRAFTSMAN STYLE ARCHITECTURE GUIDELINES



A **blend** of Mission and Spanish revival periods, the Spanish Eclectic style is characterized by low pitched hip or gabled roofs, usually with little or no overhangs, and red tile roofs with light colored stucco walls, typically white. The design elements are often asymmetrical and include arches, balconies, patio's, and wood, wrought iron or stone decorative elements.

**Form:** Strong and simple massing, often asymmetrical.

**Roof:** Low pitched, hip or gable.

**Windows:** Combination of arched and rectangular, some with shutters.

**Colors:** Typically white stucco façade with red tile roofs.

**Details:** Wood and wrought iron/grills and pot shelves, use of decorative patterned tiles

FIGURE 6-22  
SPANISH ECLECTIC STYLE ARCHITECTURE GUIDELINES



**The Monterey style** is characterized by simple forms with extensive use of second story balconies, wood shutters and exposed wood rafter tails.

**Form:** Simple forms with use of second story balconies. Primarily stucco surfaces.

**Roof:** Low pitch, generally gabled, many with exposed rafter tails.

**Windows:** Generally unadorned, paired and recessed, usually vertical. Shutters with deep rich colors are common.

**Colors:** Contrasting shades of white, light and darker tans.

**Details:** Cast iron railings, wood accents.

FIGURE 6-23  
MONTEREY STYLE ARCHITECTURE GUIDELINES

The following photographs identify key architectural design elements to guide all single family homes in the Res-M 1 category.



This photo illustrates a well designed single story home. A “side-on” garage with windows and shutters creates the impression of a much larger home. Excellence in design is achieved through the variation of the rooflines including dormers to add interest, the variation in the ground floor building planes, provision of a covered porch, and complementary building colors.



The massing and proportion between first and second story elements, variation of building planes and rooflines, and window detailing with shutters, provides an excellent example of a two story home with a three car garage.

FIGURE 6-24  
ARCHITECTURE GUIDELINES RES-M



The varied rooflines and building planes, with well balanced one and two story elements creates an attractive elevation. The use of the deep earth tone color on the garage doors helps them recede rather than overwhelm the home. Stone accents placed in a prominent location on the home further add to its appeal.



The massing of this two-story home is well articulated in roof details, windows and trim. The earth tone color palette and contrasting trim colors enhances its overall appeal.

FIGURE 6-25  
ARCHITECTURE GUIDELINES RES-M



Both homes above incorporate similar design elements, each with its own distinctive style that provides an effective way to reduce the building's mass and create a desirable scale along the street. Each includes a porch and recessed entry, a roof and balcony element extending forward of the garage, and warm earth tone colors with contrasting color trim.

FIGURE 6-26  
ARCHITECTURE GUIDELINES RES-M

COLTON'S HUB  
CITY CENTRE  
SPECIFIC PLAN

Window details are an important feature in any quality home design. As shown below, they should complement the architectural theme and take into consideration the function and hierarchy within the composition of the building's elevation.



FIGURE 6-27  
WINDOW GUIDELINES - RESIDENTIAL

Porches and balconies add to both of the functionality and beauty of a house and provide a sense of enclosure and protection from the climate.



FIGURE 6-28  
PORCHES AND BALCONIES GUIDELINES - RESIDENTIAL

Columns and posts can be functional, create interest. And reinforce the style of a home. As seen below, scale and size can vary and by doing so differentiate the appearance of each home.



FIGURE 6-29  
COLUMNS AND POSTS GUIDELINES - RESIDENTIAL



①



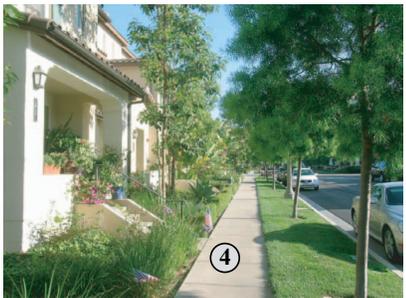
②



①

- ① These examples illustrate quality, form, color and roof variation for a Motor Court Home oriented to a local street. All homes along A Street shall have an entry door from the street side.
- ② Homes without a front entry from the Motor Court that face a local street shall be enhanced along the entire elevation.

FIGURE 6-30  
MOTORCOURT GUIDELINES RES-M1



- ① Example of well articulated elevation with balcony.
- ② 10' minimum setback from sidewalk for 2-story building shown.
- ③ 8' minimum porch setback from sidewalk
- ④ Parkway is 6' wide with 4' sidewalk as required.

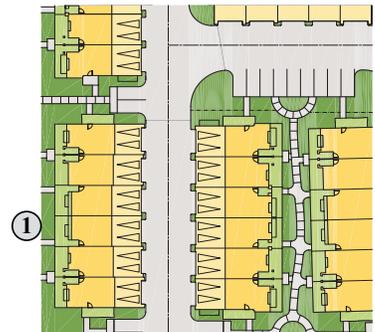


FIGURE 6-31  
TOWNHOUSE GUIDELINES RES-M1



**Garden Courts**

The minimum setbacks for Garden Court Homes are shown above:

- 1. Setback between buildings on ends: 20'
- 2. Setback between interior buildings: 28'
- 3. A limited turf area adds to the quality of the courtyard.

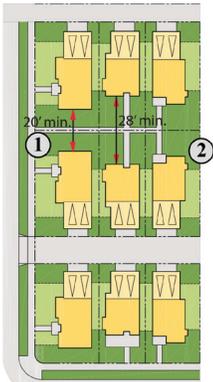


FIGURE 6-32  
GARDEN COURT GUIDELINES RES-M1

COLTON'S HUB  
CITY CENTRE  
SPECIFIC PLAN



- ① Balconies, awnings, contrasting colors create an attractive street scene.
- ② Courtyards vary from a minimum of 10' between 1-story buildings.
- ③ A 6' parkway, 4' sidewalk and 9 feet building setback is consistent with the Development Regulations for a one story element, 10' is required for a 2-story.
- ④ An arbor at the entry to the green court creates a sense of entry.

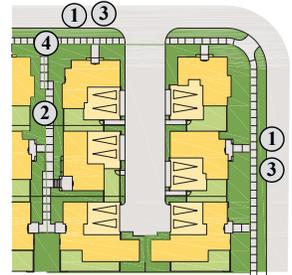


FIGURE 6-33  
COURTYARD GUIDELINES RES-M1



Minimum Setbacks to Sidewalks

- A** 13 feet from sidewalk or back of right of way on B street for 2-story, 10' other streets.
- B** 8 feet to a covered porch.
- C** 3 feet to a fence of max. 3'-0" tall if in setback area.
- D** 6' wide parkway and curb and 4 foot sidewalk.

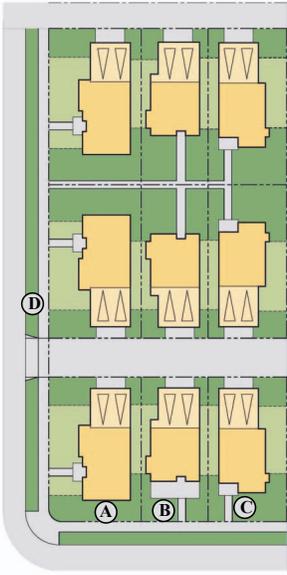


FIGURE 6-34  
PATIO HOMES GUIDELINES RES-M1

## 6.8 RESIDENTIAL - SITE LANDSCAPE, WALL AND FENCE GUIDELINES

Each residential site shall be required to adhere to the minimum following guidelines and standards in addition to those listed in Section 4.0, Development Regulations, and other Sections of the CHCCSP.

Attached home development with public and common area landscaping:

1. Provide landscaping in all public and private common areas within the project site or as otherwise required by the Development Services Director. For private use areas enclosed by five feet (5') to six feet (6') high privacy walls or separated by other similar architectural elements, no landscaping is necessary to be provided by the builder or developer.
2. Select plant materials for common areas from the Landscape Palette located in the Community Design Guidelines. Additional plant material may be selected if approved by the Development Services Director or his / her designee.
3. Provide a minimum of fifteen percent (15%) of the total site for common area landscaping. The fifteen percent (15%) is in addition to the landscape area within parkways between sidewalks and streets and any private yard areas enclosed by a wall exceeding a height of four feet (4').
4. Select street trees for public rights-of-ways that are consistent with the landscape sections and Community Design Guidelines provided herein. Provide a minimum twenty-four inch (24") box size for all street trees in parkways between a sidewalk and curb shall. Street trees are not intended to be included to satisfy the minimum twenty percent (20%) for the common areas.
5. In common areas, provide the following minimums : fifteen (15) gallon minimum tree sizes, with twenty percent (20%) of all trees a minimum of twenty-four inch (24") box size and five percent (5%) of all trees a minimum of (36") box size.
6. All areas used for private patios may be screened with a five feet (5') to six feet (6') high masonry wall material pursuant the Community Design Guidelines. However, if less than eight feet (8') occurs from a sidewalk to a wall where there are fronts or sides of homes adjacent to a public or private street, then the maximum wall height shall be three feet (3'). There shall be no less than two feet (2') of planting area depth from the face of any wall of any height to a sidewalk or other paved surface, in order to allow for plant materials such as vines and hedges to be planted.
7. No wood fences are permitted within the CHCCSP project area, except for use as access gates in residential areas. Other walls or fences, such as those manufactured with composite materials shall be subject to approval by the Development Services Director or his / her designee. Refer also to Section 4.0, Development Regulations, for additional wall and fence requirements within each land use category.

### RESIDENTIAL PRIVACY WALLS AND FENCES

Where walls or fences occur for privacy between homes, along alleys adjacent to the open space areas, or on corner lots, provide a masonry or vinyl material that complements the building architecture. This includes slumpstone, split face block, stucco finished masonry walls, and vinyl fences. On masonry walls, provide a minimum three inch (3”) high masonry caps. Refer also to Section 4.0, Development Regulations, for additional wall and fence requirements within each land use category.

For common refuse enclosures, they shall provide a separate gate for recycled material with a sign similar to the example that follows.



## 6.9 COMMUNITY ENTRY MONUMENTS, WALLS AND FENCES

### 6.9.1 ENTRY MONUMENT GUIDELINES

Community entry monuments are planned at several key locations as part of establishing an overall community identity. The design intent is to create a consistent theme and vocabulary of materials for all residential and commercial / business park areas. The Colton's Hub City Centre community name and / or logo is included on each monument. The name is subject to change in the future at the discretion of the City Council. Refer to Figure 6-35, Community Wall and Entry Monument Plan for locations of each of the monuments. Sketches and elevations of the monuments are referenced below.

#### VALLEY BOULEVARD AND PEPPER AVENUE

The primary entry into the community occurs from the I-10 Freeway at Pepper Avenue. In order to create a dramatic entry statement and sense of arrival for the entire Specific Plan area, a combination fountain and monument is planned at the northwest corner of Valley Boulevard and Pepper Avenue. A rendering of the concept is shown in Figure 6-36.

#### WILDROSE AND MERIDIAN AVENUES AT VALLEY BOULEVARD

Monuments shown in Figure 6-37 are located at these two key entry areas into Commercial / Business areas.

**COLTON'S HUB  
CITY CENTRE  
SPECIFIC PLAN**

Entry monuments into the residential neighborhoods are shown in Figure 6-37. In order to reinforce an overall community identity, the same vocabulary of materials is used as in the Commercial / Business Park areas.

## 6.9.2 COMMUNITY WALL AND FENCE GUIDELINES

### COMMUNITY THEME WALL

Community walls are located in residential areas along the project boundary and along streets based on traffic and / or noise considerations. As is the case with entry monuments, the intent is to establish a consistent theme of materials within the community. Refer to Figure 6-35 respectively for wall locations and types.

The height of community walls typically will be six feet except where necessary for noise attenuation. Acoustical studies will be provided by applicants prior to any residential development to determine required wall heights.

In order to soften the character of walls and to provide a graffiti resistant surface along the public facing side of streets, vines such as Boston Ivy are recommended.

### WOOD FENCES

No wood fences are permitted within the CHCCSP, except for use as access gates to residential yards, up to three (3) feet high picket or similar type fences in front yards. All walls in residential development areas shall be a tan colored slump stone, split face block, or other equivalent material approved by the Development Services Director.

## 6.10 COMMUNITY STREETScape MASTER PLAN AND GUIDELINES

Streetscapes play an important part in developing a distinctive community. Trees, shrubs and groundcovers within parkway, medians, and landscaped setback areas adjacent to the public rights of way all contribute to creating a unified and beautiful community. The streetscape design elements for the major and local streets within the CHCCSP are described below and illustrated in Figures 6-37 and 6-38, and Landscape Master Plan and Figures 6-39 through 6-44, Streetscape Sections. While specific tree types have been selected for each of the major streets, they may be revised by Development Services Director and his / her designee. In the event they are changed, it is recommended that the form and shape of each substituted tree be similar to those for the respective street tree in the Landscape Master Plan.

All street trees within parkways, between the sidewalks and curbs, are intended to be planted with equidistant spacing versus informal groupings within the medians on Valley Boulevard, Pepper Avenue, and San Bernardino Avenues. Trees are shown in informal groupings, which is already the case in existing segments of the Pepper Avenue median.

## VALLEY BOULEVARD

Parkway Trees: Chinese Pistache

Median Trees: Date Palms and Crape Myrtle

Chinese Pistache are broad dome trees, with leaves that turn burgundy in the fall and provide an excellent shade canopy. While the trees are deciduous during the winter, the Southern Magnolias in the median will provide year round foliage. Flowering Crape Myrtle trees are also included in the median and will provide summer color.

## PEPPER AVENUE

Parkway Tree: Australian Willow

Median Trees: Date Palm and Jacaranda

On the east side of Pepper Avenue, within the public right-of-way and adjacent to the Arrowhead Regional Medical Center property, there exists a curb adjacent sidewalk and a variety of mature trees in the landscape area with groupings of California Pepper trees, among others tree varieties.

On the west side of Pepper Avenue that is part the Specific Plan, a new parkway and sidewalk is planned as development occurs. The Australian Willow an evergreen tree that forms a shade canopy tree is shown. It will complement the California Pepper trees along the Medical Center site without the high maintenance associates with the Pepper tree.

Jacaranda trees are presently located within the median and are intended to remain. Additional groupings of Date Palms, which provide year round foliage are shown to further enhance the streetscape.

## SAN BERNARDINO AVENUE

Parkway Tree: Tipu Tree

Median Trees: Camphor Tree and Crape Myrtle

The Tipu tree provides a broad dome deciduous tree with yellow summer flowers that provides an excellent shade canopy during the warmest seasons. While these trees are deciduous during the winter, evergreen Camphors in the median will provide year round foliage. The Crape Myrtles which flower during the summer will provide a seasonal accent.

Along residential areas, a landscaped setback area of ten feet (10') minimum is required between the public sidewalk and the future community theme wall. (See Section 4.0, Development Regulations). Evergreen pines are recommended in this landscaped setback area to enhance the streetscape on San Bernardino Avenue and buffer the adjacent residential uses from the road.

## MERIDIAN AVENUE

Parkway Tree: Southern Magnolia: An upright evergreen tree with white flowers in the summer.

LEGEND:

- Community Wall
- ★ Entry Monument “A”
- ★ Entry Monument “B”
- ★ Entry Monument “C”

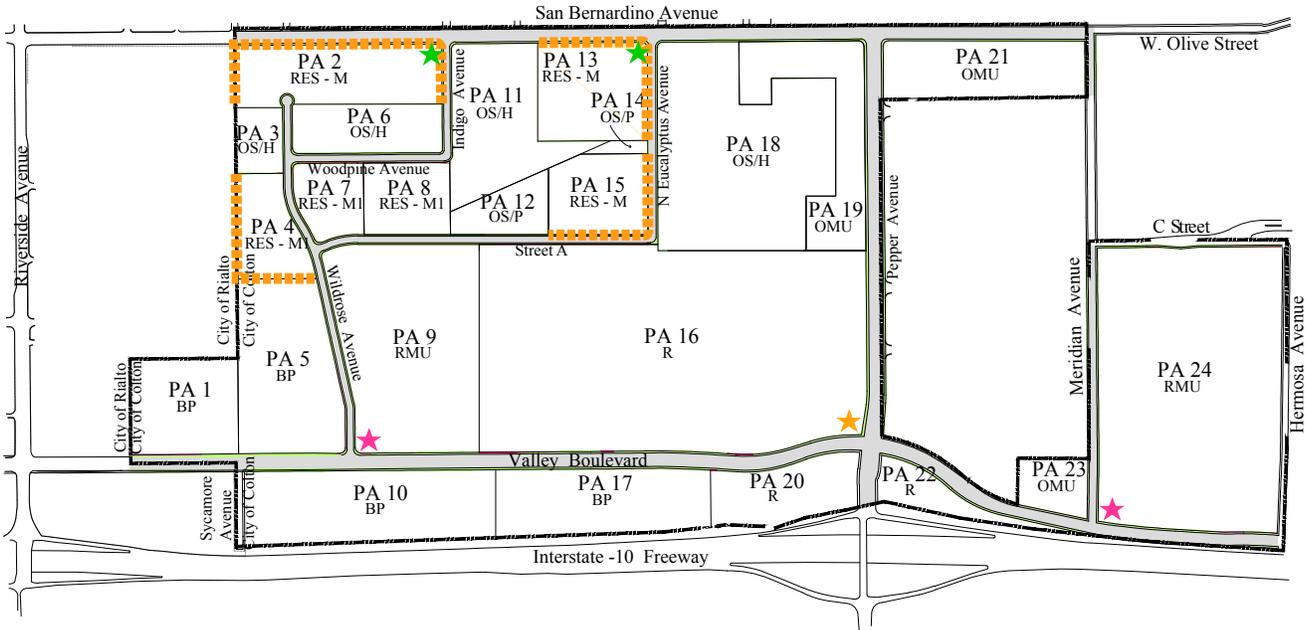


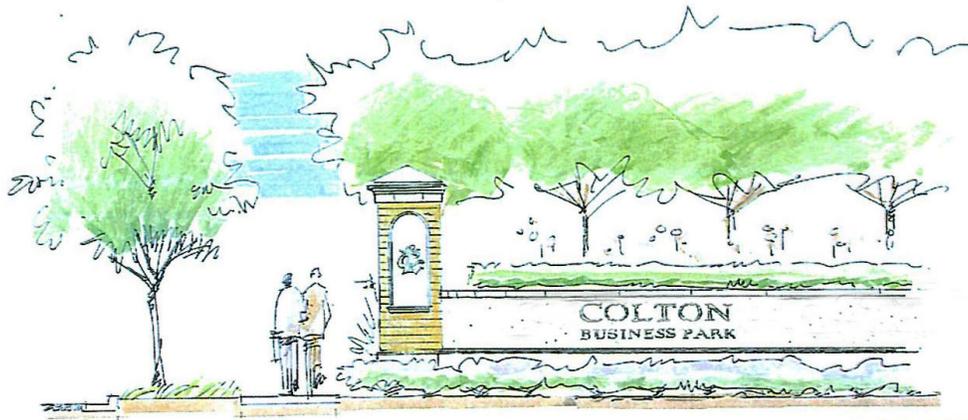
FIGURE 6-35  
COMMUNITY WALL AND ENTRY MONUMENT MASTER PLAN



Example of cascading fountain.

FIGURE 6-36  
COMMUNITY ENTRY MONUMENT A

**COLTON'S HUB  
CITY CENTRE  
SPECIFIC PLAN**

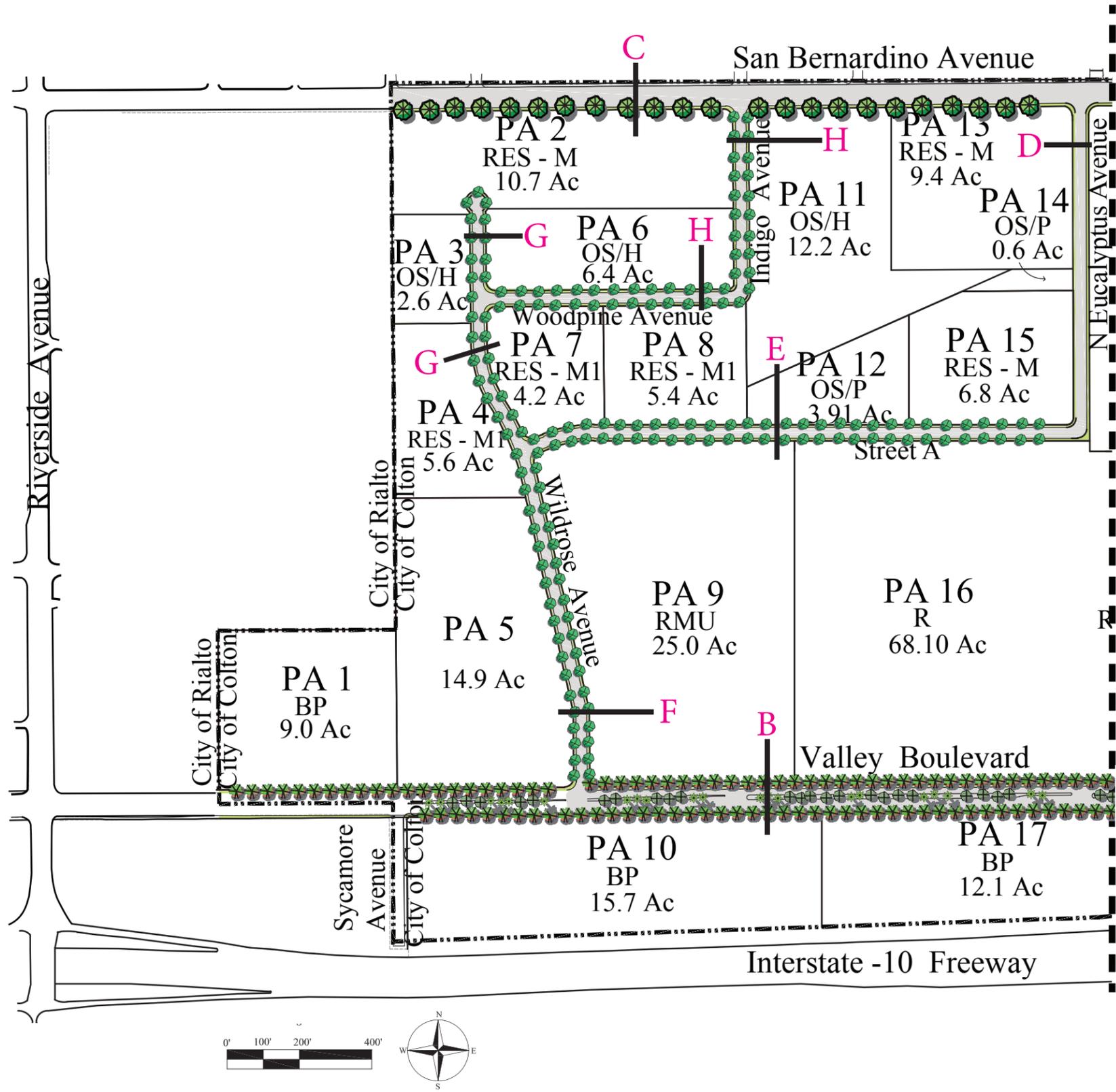


Entry Monument B

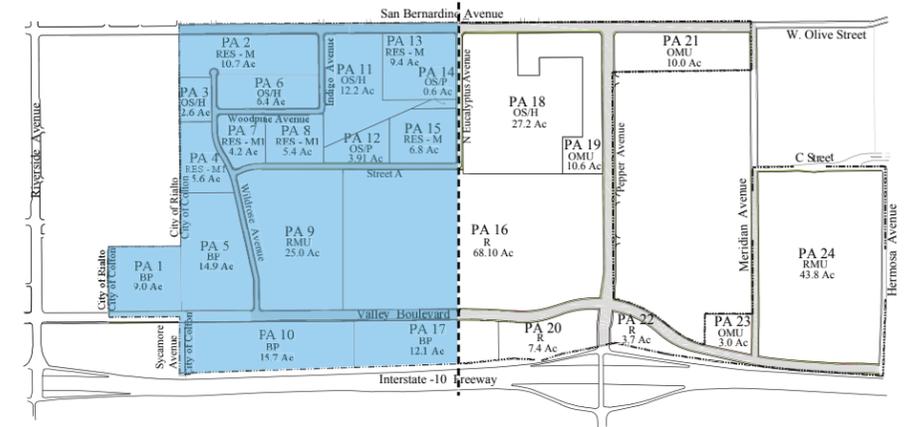


Entry Monument C

FIGURE 6-37  
ENTRY MONUMENT GUIDELINES



Key Map



LEGEND:

- A - Pepper Avenue
  - Phoenix dactylifera
  - Date Palm
  - Jacaranda mimosifolia
  - Jacaranda
  - Brachychiton populueus
  - Bottletree
  - Geijera parvifolia
  - Australian willow
- B - Valley Boulevard
  - Phoenix dactylifera
  - Date Palm
  - Magnolia grandiflora
  - Southern Magnolia
  - Pistacia chinensis
  - Chinese pistache
- C - San Bernardino Avenue
  - Tipuana Tipu
  - Carrotwood
- D - Eucalyptus Avenue
  - Fraxinus uhdei "Majestic Beauty"
  - Evergreen Ash
- E- Street A
  - Tipuana tipu
- F - Wildrose Avenue
  - Magnolia grandiflora
- G - Wildrose Avenue
  - Geijera parvifolia
- H - Indigo Avenue / Woodpine Avenue
  - Platanus acevifolia
- I - Meridian Avenue
  - Tipuana tipu
- J - C Street
  - Platanus acevifolia
- K - Hermosa Avenue
  - Geijera parvifolia

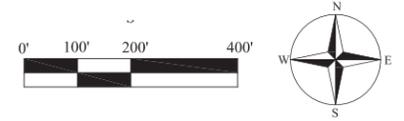
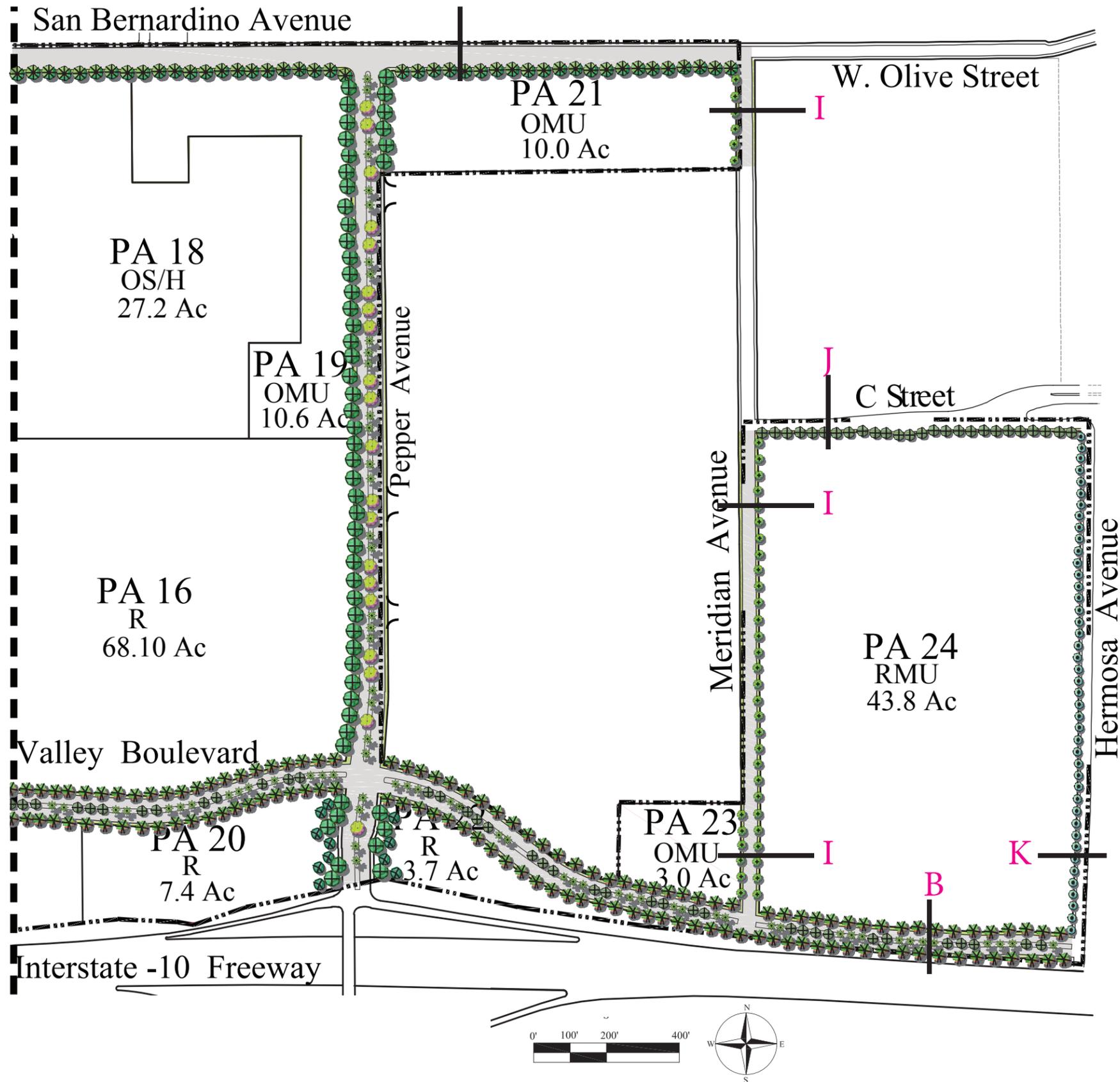
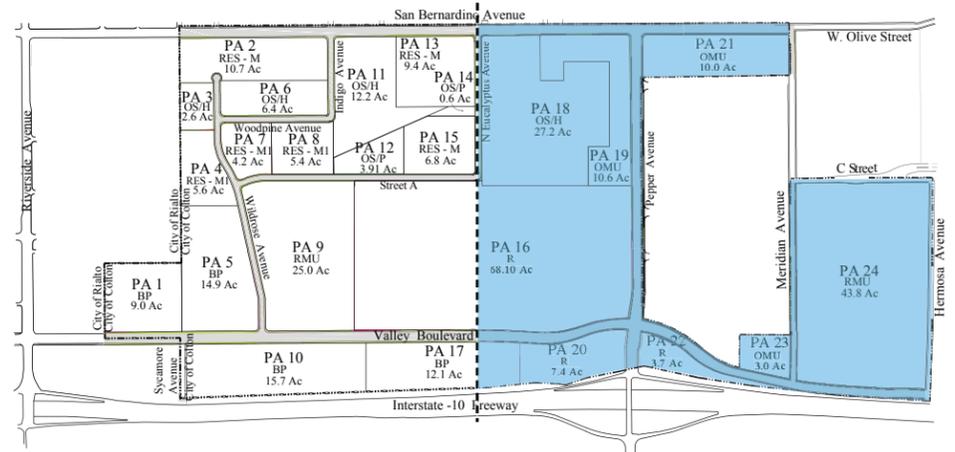


FIGURE 6-38  
STREETScape MASTER PLAN



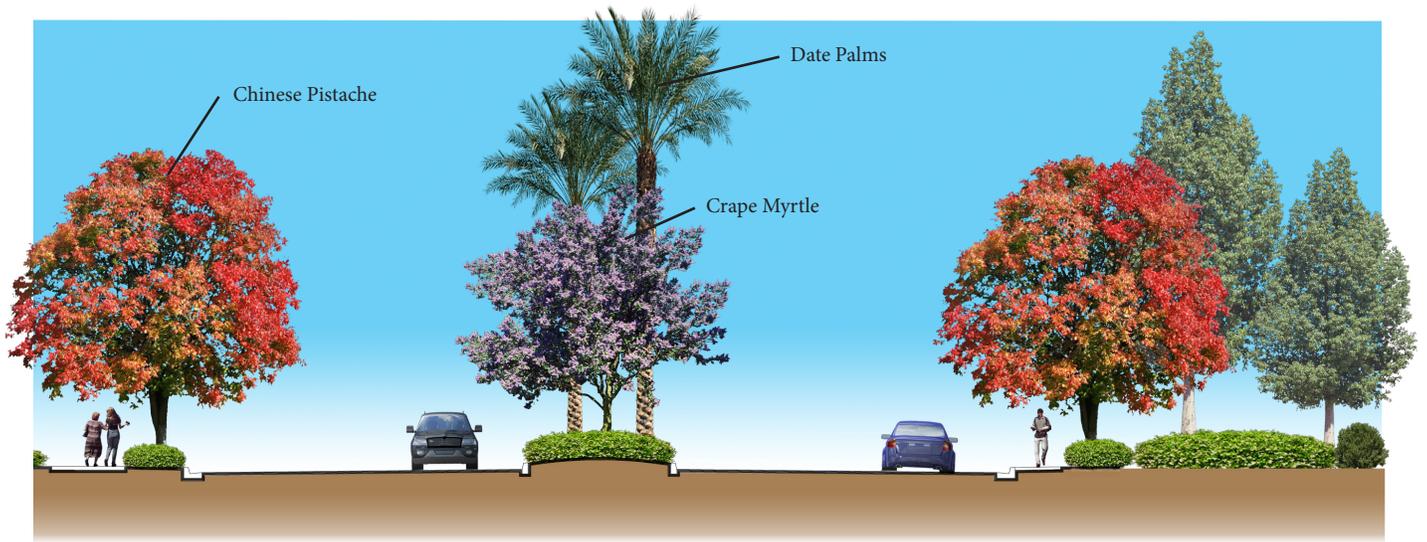
Key Map



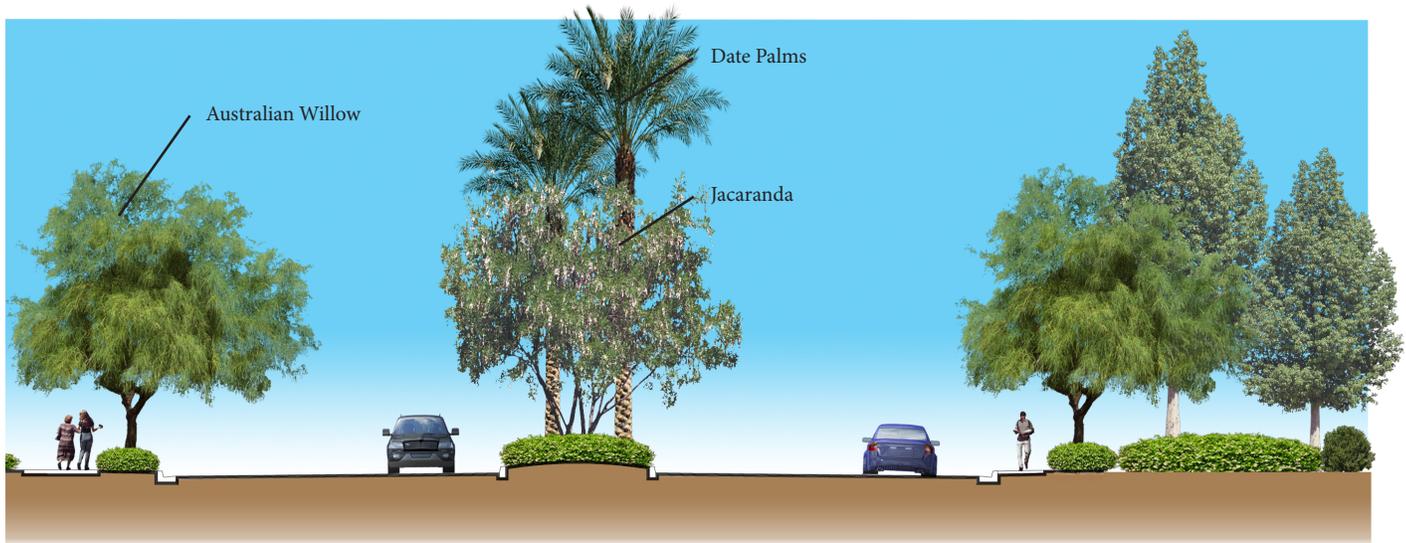
LEGEND:

- A - Pepper Avenue
  - Phoenix dactylifera
  - Date Palm
  - Jacaranda mimosifolia
  - Jacaranda
  - Brachychiton populeus
  - Bottletree
  - Geijera parvifolia
  - Australian willow
- B - Valley Boulevard
  - Phoenix dactylifera
  - Date Palm
  - Magnolia grandiflora
  - Southern Magnolia
  - Pistacia chinensis
  - Chinese pistache
- C - San Bernardino Avenue
  - Tipuana Tipu
  - Carrotwood
- D - Eucalyptus Avenue
  - Fraxinus uhdei "Majestic Beauty"
  - Evergreen Ash
- E - Street A
  - Tipuana tipu
- F - Wildrose Avenue
  - Magnolia grandiflora
- G - Wildrose Avenue
  - Geijera parvifolia
- H - Indigo Avenue / Woodpine Avenue
  - Platanus acevifolia
- I - Meridian Avenue
  - Tipuana tipu
- J - C Street
  - Platanus acevifolia
- K - Hermosa Avenue
  - Geijera parvifolia

FIGURE 6-39  
STREETScape MASTER PLAN

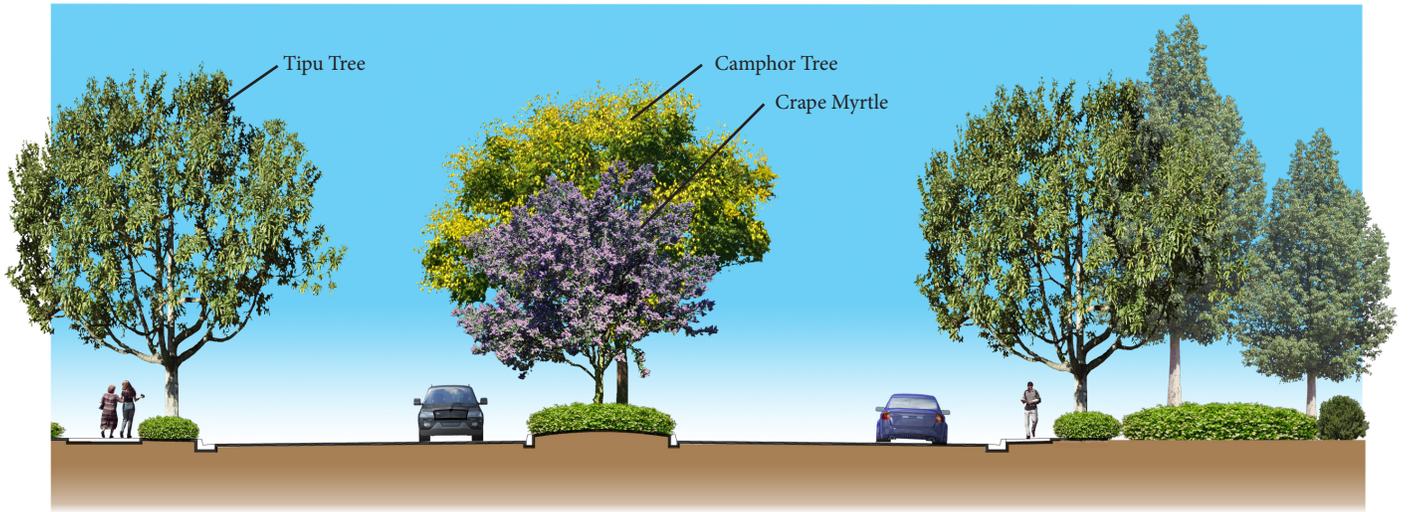


Valley Boulevard

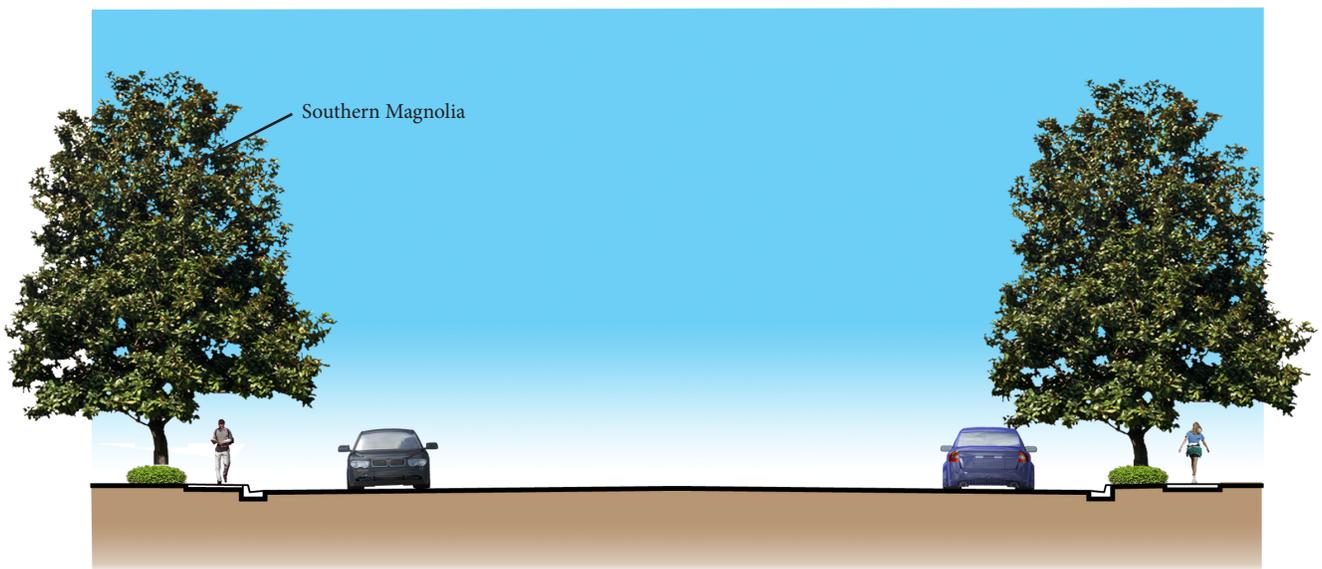


Pepper Avenue

FIGURE 6-40  
STREETScape SECTION



San Bernardino Avenue



Meridian Avenue

FIGURE 6-41  
STREETSCAPE SECTION

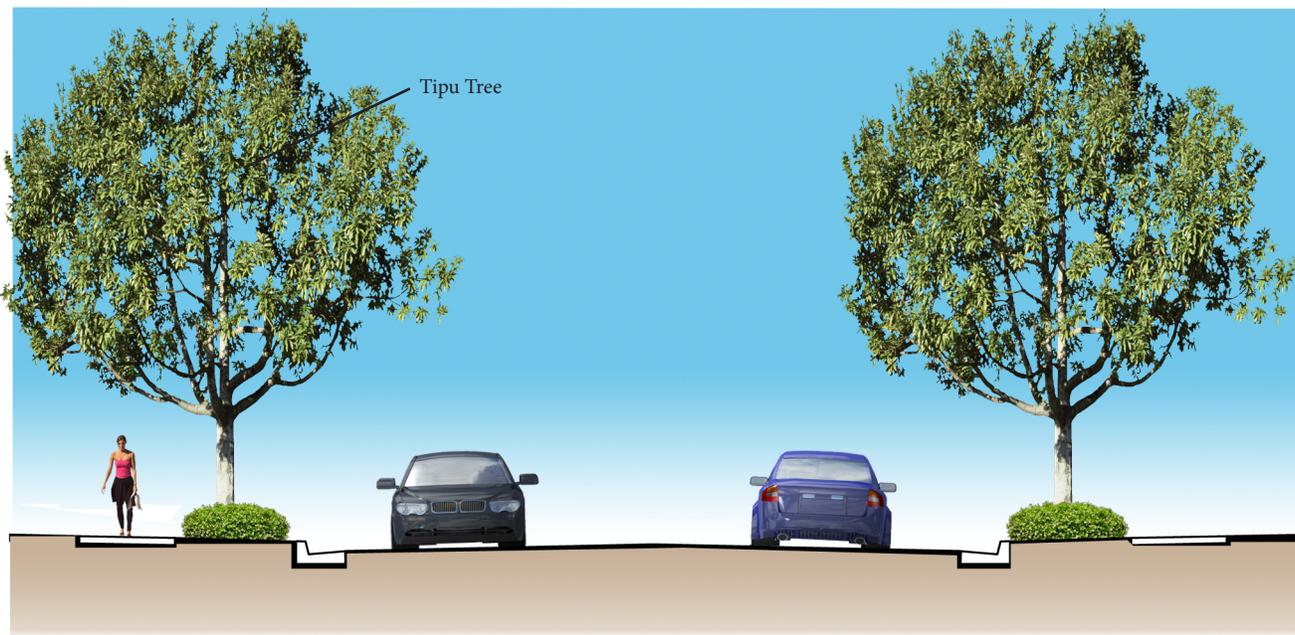


Indigo Avenue / C Street

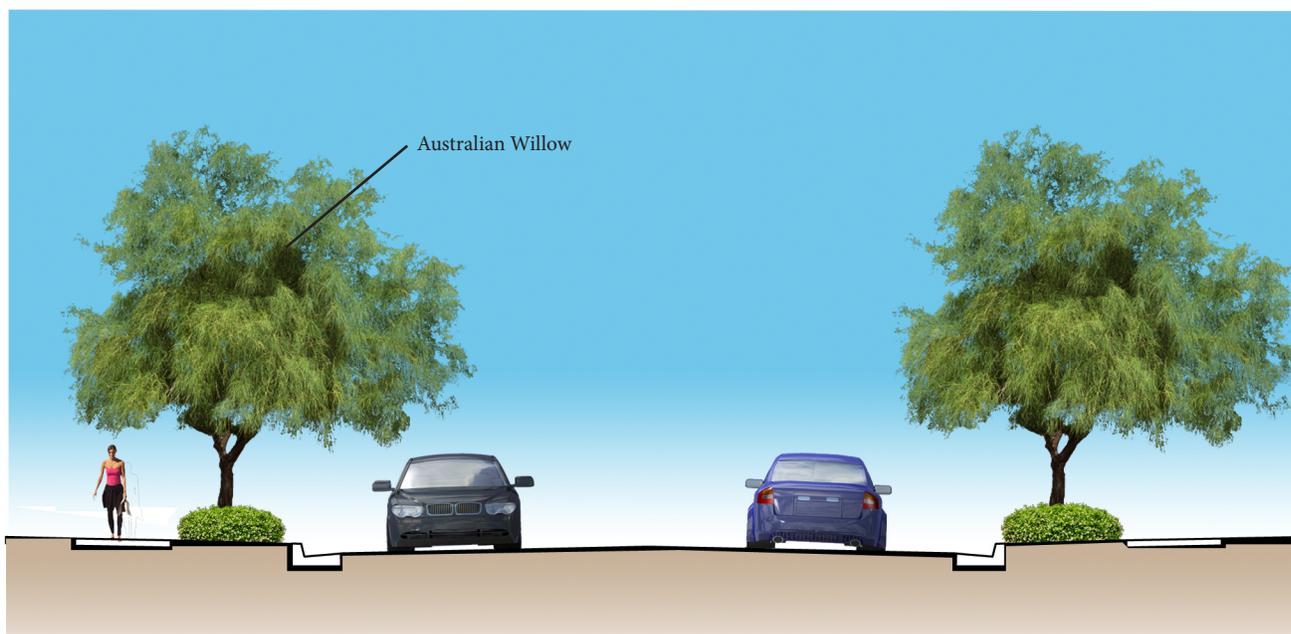


N. Eucalyptus Avenue

FIGURE 6-42  
STREETScape SECTION

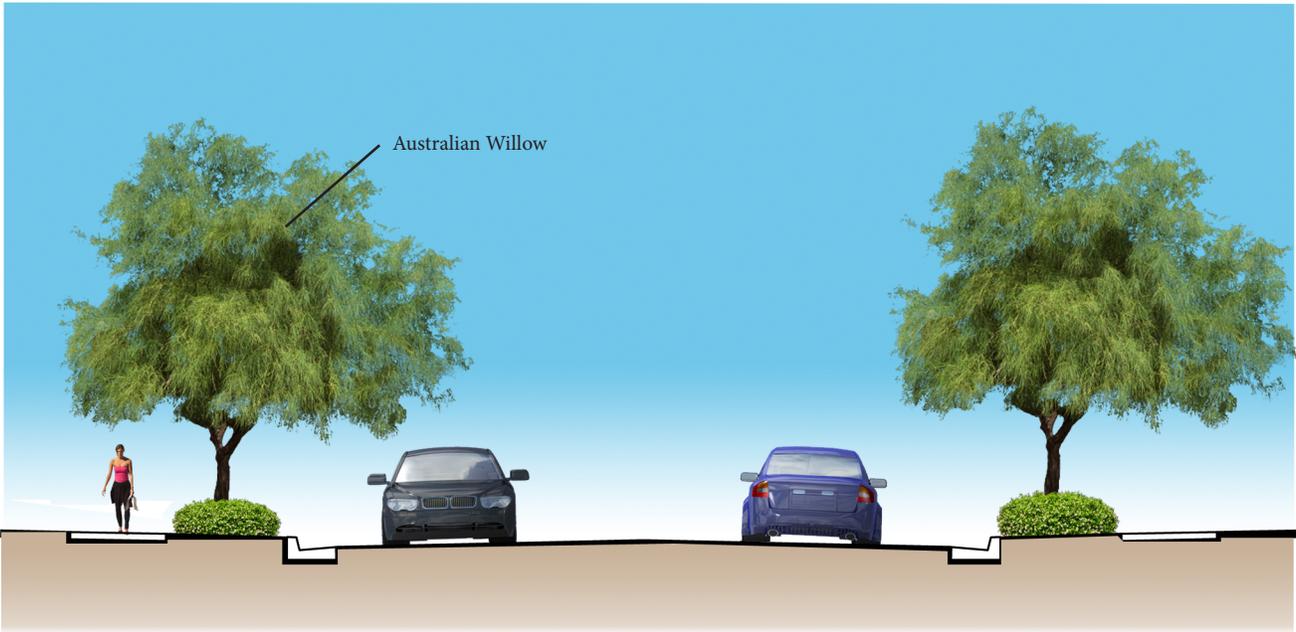


Street A

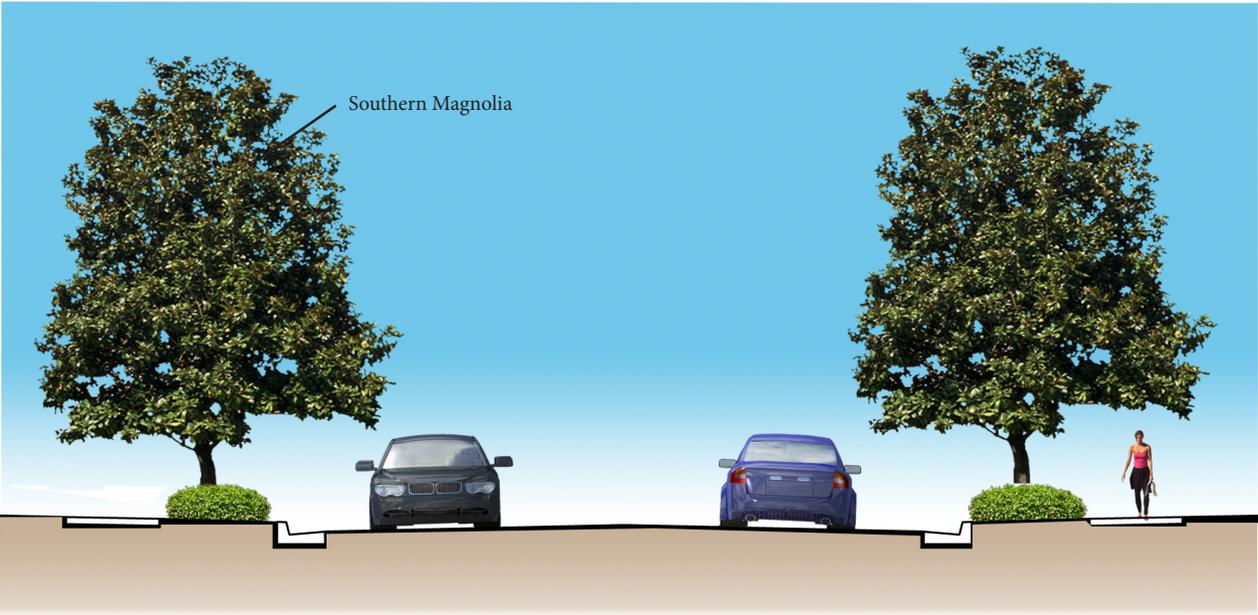


Hermosa Street

FIGURE 6-43  
STREETScape SECTION



Wildrose Street A



Wildrose Street B

FIGURE 6-44  
STREETScape SECTION

#### INDIGO AVENUE AND C STREET

Parkway Tree: London Plane Tree: An upright deciduous tree that provides excellent shade during the hot summer months.

#### N. EUCALYPTUS AVENUE

Parkway Tree: Evergreen Ash: An upright broad spreading shade tree.

#### STREET A

Parkway Tree: Tipu Tree: A broad dome shade canopy with yellow seasonal flowers.

Parkway Tree: London Plane Tree. An upright stately tree that provides excellent shade during the hot summer months.

These two streets are near mirror images of each other on the land use master plan and are intended to include similar street trees. The evergreen Southern Magnolia, a stately tree that is well adapted to the area, will create a strong streetscape character. It is evergreen year round and flowers during the summer months.

#### HERMOSA STREET

Parkway Trees: Australian Willow: Similar leaf shape and character to a California Pepper, but much cleaner, less maintenance.

#### WILDROSE STREET

Parkway Trees: Australian Willow in residential areas to the north portion of the road and Southern Magnolia to the south in the Commercial / Business Park areas.

To differentiate commercial and residential areas, two trees are recommended with Southern Magnolia in the residential areas and Australian Willow in Commercial / Business Park areas.

## 6.11 OPEN SPACE PLAN - PARK AND HABITAT

A total of 48.4 acres of preserved habitat are provided in the plan in PA's 3, 6, 11 and 18. While they provide open space for the community, they are reserved for protection of the Delhi Sands Fly and are not intended for public use.

A 4.5 acre public neighborhood park is located in PA's 12 and 14. It is located within walking distance of the residential uses in the CHCCSP and neighborhoods to the north of San Bernardino Avenue. It provides opportunities for recreation, relaxation as well as places where neighbors can visit and socialize.

Refer to Figure 6-45 for the Open Space Plan that identifies the park and habitat areas. A Park Plan Concept for the neighborhood park is shown in Figure 6-46. Park uses and design, including all recreational amenities to be included, are subject to change shall be subject to review and approval of the City Development Services director and / or his / her designee's. When developed, the park will be available for all city residents to enjoy.

LEGEND:

- OS/P    Open Space / Park
- OS/H    Open Space / Habitat

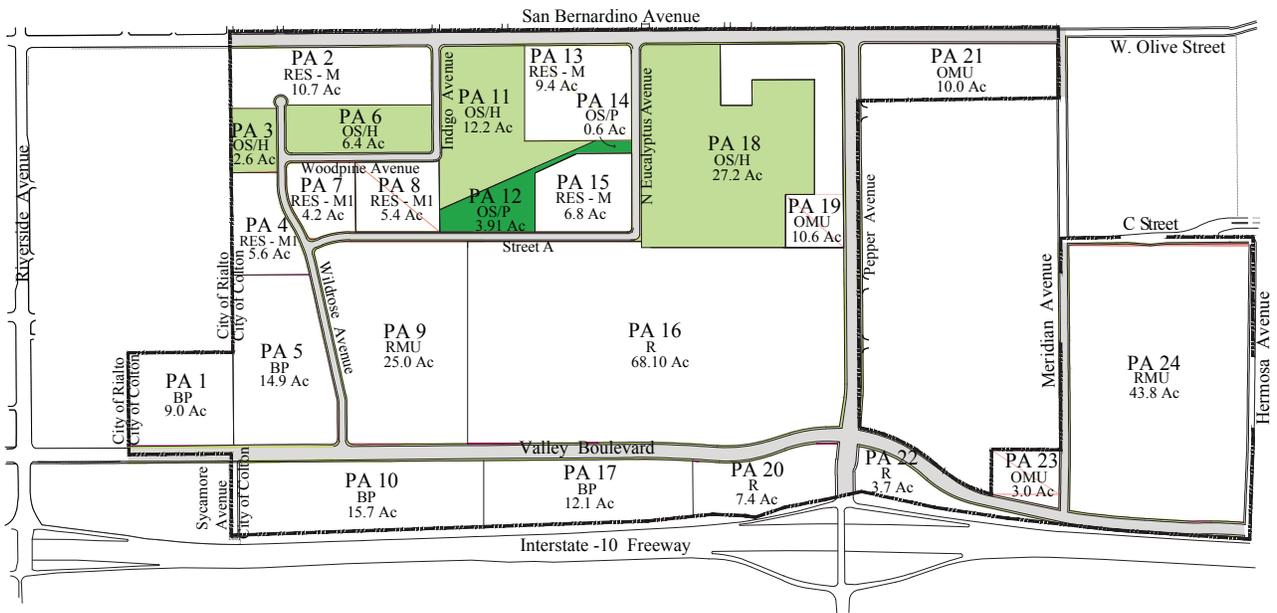
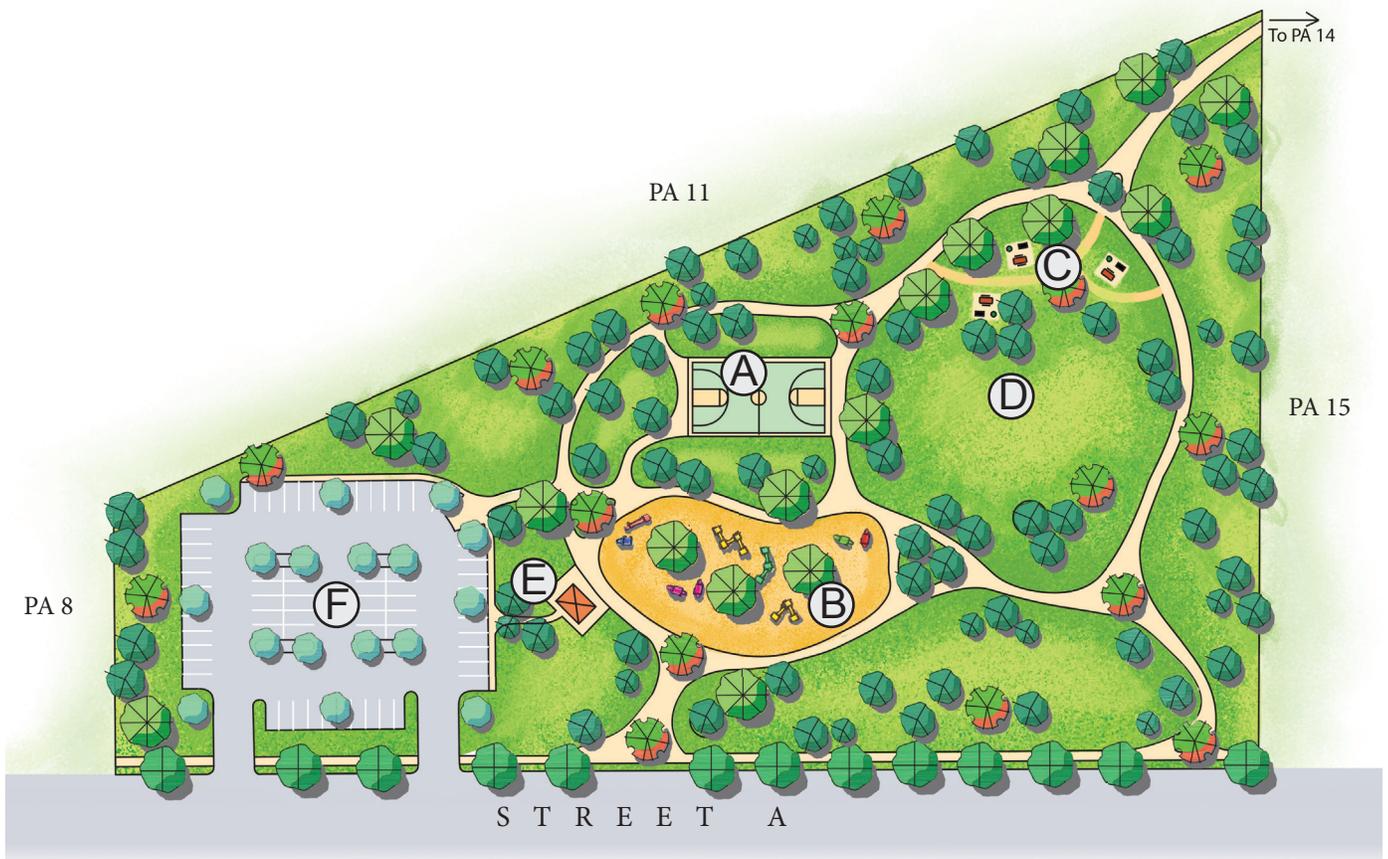
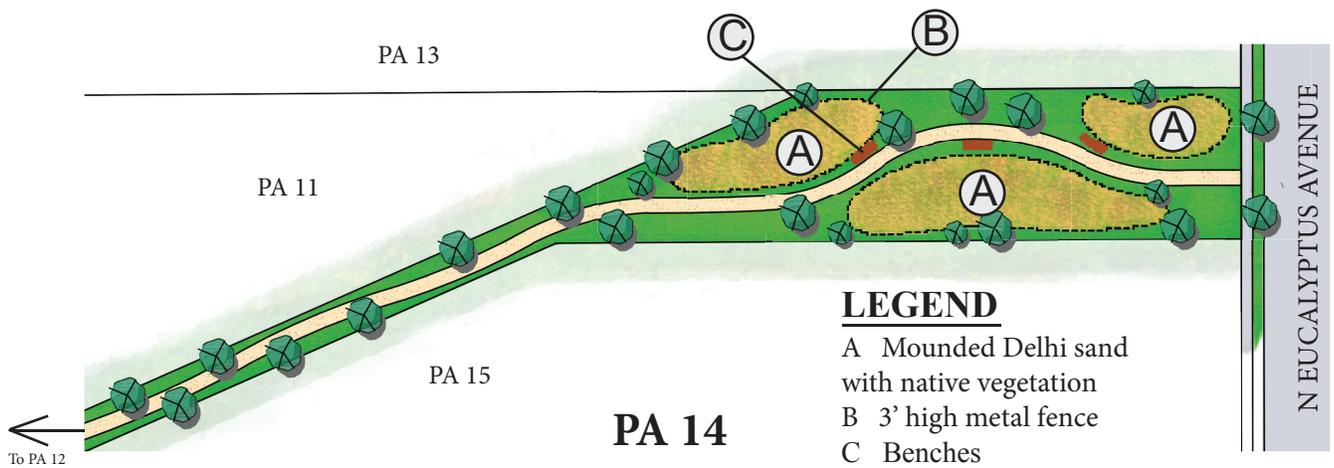


FIGURE 6-45  
OPEN SPACE PLAN



**LEGEND**

- |                     |               |
|---------------------|---------------|
| A Basketball Court  | D Free Play   |
| B Tot Lot           | E Restroom    |
| C Picnic Table Area | F Parking Lot |

FIGURE 6-46  
 PARK PLAN CONCEPT - PA 12 & PA 14

## 6.12 OUTDOOR LIGHTING GUIDELINES

All commercial and residential development shall have uniform lighting standards with regard to style, materials, and colors in order to ensure a consistent and unified design. Lighting within each land use type, e.g., retail, office, business park and residential, shall create a unified theme. Figure 6-47 provides examples of lighting fixtures that establish an overall hierarchy and visual palette that is consistent with the design theme of the Colton's Hub City Centre Specific Plan Amendment (CHCCSP) project area.

All lighting fixtures in the CHCCSP area shall comply with the following regulations and provisions:

1. All outdoor lighting, including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed, and arranged to minimize or adjoining property.
2. Lights shall be break resistant plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal proof.
3. Neon and similar types of lighting are prohibited in all areas except in Retail areas in conjunction with the entertainment center unless otherwise approved by the Planning Commission.
4. Community entry monuments, commercial and residential entry monuments, the major entry monument and fountain at the northwest corner of Valley Boulevard and Pepper Avenue, and public plazas in the retail site should be creatively lit to develop a sense of place and arrival.
5. All exterior lighting designs shall address safety and security. Parking lots and commercial building entrances shall be well lighted for security reasons to a minimum average of one footcandle, unless otherwise approved by the police department.
6. All exterior lights should be shielded where feasible and focused to minimize spill light into the night sky or adjacent properties.
7. No freestanding lighting fixtures shall exceed forty feet (40') in height, unless approved by the Development Services Director or his / her designee.
8. Service area lighting shall be contained within the service yard boundaries and enclosure walls.
9. All electrical meter pedestals and light switch / control equipment shall be located with minimum public visibility if possible or shall be screened with appropriate plant materials.
10. The level of on-site lighting as well as lighting fixtures shall comply with any and all applicable illumination requirements and policies of the City of Colton. Energy conservation including use of LED lighting systems should be emphasized when designing any light system.
11. All community landscape common areas, private facilities, streetscapes, and other use areas may contain accent or other night lighting elements subject



Residential Streets



Retail



Parking Lots

The following lighting examples establish an overall hierarchy and palette to create continuity within the community. Along local residential public and private streets, a fixture similar to the photo will create continuity and complement the overall community character. Within retail areas, include thematic lighting consistent with the architectural theme. For parking areas in all Business / Office and Retail areas, provide simple and elegant cut-off style fixture that will minimize glare.

FIGURE 6-47  
LIGHTING GUIDELINES

to approval of the Development Services Director or his / her designee.

12. Pedestrian corridors shall be lit to ensure safe walking environments throughout the project area.

## 6.13 LANDSCAPE PLANTING GUIDELINES

### 6.13.1 PLANT MATERIAL GUIDELINES

The quality and long-term appearance for all landscaped areas will depend on many factors including the initial selection of the plant materials, soil preparation and installation, irrigation management and care and maintenance. These guidelines apply to all public or private common areas that will be maintained by a landscape maintenance district, homeowners associations, or similar entity.

#### GENERAL LANDSCAPE REQUIREMENTS

1. All areas required to be landscaped should be planted with turf, ground-cover, shrub and / or trees selected from the plant palette contained in these guidelines or as supplemented by the City of Colton Development Services Director or his / her designee. In general, the plant materials designs should provide a layered appearance, with lower growing plants in the foreground and larger growing plants in the background.
2. Cut slopes equal to or greater than eight feet (8') in vertical height and fill slopes equal to or greater than five feet (5') in vertical height shall be planted with a ground cover to protect the slope from erosion and instability. Slopes exceeding fifteen feet (15') in vertical height shall be planted with shrubs spaced not more than ten feet (10') average on center, or trees spaced not to exceed thirty feet (30') average on center, or a combination of shrubs and trees at equivalent spacing, in addition to the groundcover. The plants selected and planting methods shall be suitable for the soil and climatic conditions.
3. Reference should be made to the City of Colton Standards for erosion control methods for slopes and other landscaped areas.

#### CLIMATE

The Plant material palette has been selected based on compatibility with the climatic conditions among other considerations discussed below.

#### HORTICULTURAL SOILS TEST REQUIREMENTS

Soil characteristics within the site may be variable. The developers / builders for parcels that require landscape development within public areas shall procure a horticultural soils report in order to determine proper planting and maintenance recommendations for proposed plant materials. Soils testing shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-planting and post-planting recommendations.

#### INVASIVE SPECIES

Non-native invasive plant species shall not be used in landscape plans. .

## PLANT PEST AND DISEASE CONTROL

Diseases and pests can have deleterious effects on one or many plants, whether native or ornamental in origin. Recent pest and disease problems include oleander scorch blight and several eucalyptus problems, requiring that these specific varieties should be avoided. Other plants that today are without known problems may develop problems in the future. While there is no way to predict the occurrence of new pests or diseases there are useful methods to limit the impact of outbreaks and should be incorporated into final design plans for each project. These include the following:

1. Maintain optimum plant health through soil preparation, water management, and nutrient monitoring.
2. Review community plant material on a regular basis to observe health problems due to disease or pest infestation and take appropriate action.
3. Place plant material in appropriate planting areas and provide proper spacing consistent with the requirements of the plant species.
4. Place plants in similar hydro zone grouping to maximize efficient water use.

### 6.13.2 PLANT PALETTE

The plant palette in Table 6.1 has been selected to create a unified and cohesive design theme for the community. Plants have also been selected for their appropriateness to climatic conditions, soil conditions, and concern for maintenance and water conservation.

Plant selections should take into consideration grouping of plants with similar cultural requirements in order to minimize water use and to provide conditions where plant material will thrive.

In the streetscape sections of the design guidelines, specific trees have been identified. In those cases, the intent is to illustrate the intended form and character that fulfills the design intent, i.e., evergreen versus deciduous, upright or vertical in form versus dome shaped. Should alternate selections be desired for any given street subject to approval by the Development Services Director or his / her designee, they should reflect the same form and character as those included in the streetscape sections. If alternates are selected for a particular street, the change shall apply to the entire streetscape for the area the change occurs and shall be approved by the Development Services Director or his / her designee.

### 6.13.3 IRRIGATION

All landscaped areas shall be watered with a permanent underground irrigation system, designed in a manner to ensure a minimum of 100% water coverage.

The combined summer elements of heat and wind shall be taken into account to assure proper irrigation design and equipment selection.

Irrigation controllers shall have a minimum time setting of one minute and be capable of providing multiple repeat start times. All irrigation heads adjacent to walks, drives, and curbs (car overhangs) shall be of the pop-up type.

Irrigation backflow prevention devices and controllers shall be located with minimum public visibility or screened with appropriate plant materials.

WATER CONSERVATION MEASURES

1. Drip and / or bubbler irrigation should be utilized where appropriate.
2. Use of moisture sensors and / or central control irrigation systems should be incorporated where appropriate and feasible.
3. For all areas to be publicly maintained, irrigation systems shall be designed per City guidelines.

GENERAL REQUIREMENTS

Irrigation systems and plans shall be prepared pursuant to the respective landscape maintenance district guidelines and / or City of Colton ordinances.

**TABLE 6.1 — PLANT MATERIALS LIST**

<b>TREES</b>	
<b>Botanical Name</b>	<b>Common Name</b>
Acacia subporosa	Weeping acacia
Arbutus unedo	Strawberry tree
Betula albo	White birch
Brachychiton populneus	Bottle tree
Cedrus deodora	Deodar cedar
Cinnamomum camphora	Camphor tree
Cupaniopsis Anacardioides	Carrot Wood
Cupressus sempervirens	Italian cypress
Eucalyptus spp.	Eucalyptus
Fraxinus uhdei	Evergreen ash
Koelreuteria spp.	Flame tree
Lagerstroemia spp.	Crape myrtle
Liquidambar styraciflua	Liquidambar
Liriodendron tulipifera	Tulip tree
Magnolia grandiflora	Magnolia
Olea europaea (fruitless)	Fruitless olive tree
Pinus spp.	Pine
Pistacia chinensis	Chinese pistache
Platanus acerifolia	London plane tree
Platanus racemosa	Sycamore
Podocarpus gracilior	Fern pine
Prunus spp.	Flowering peach
Pyrus spp.	Ornamental pear
Quercus agrifolia	Coast live oak
Quercus spp.	Oak spp.
Rhus lancea	African sumac
Robinia pseudoacacia	Locust
Salix babylonica	Weeping willow
Schinus molle	California pepper
Tipuana Tipu	Tipu tree
Ulmus parvifolia	Chinese elm
Zelkova serrulata	Sawleaf zelkova

<b>GROUND COVERS</b>	
<b>Botanical Name</b>	<b>Common Name</b>
Acacia redolens ‘desert carpet’	Dwarf trailing acacia
Arctostaphylos ‘John Dourley’	John Dourley manzanita
Ceanothus griseus hor ‘yankee point’	California lilac
Fragaria chiloenses	Wild strawberry
Gazania rigens	Clumping gazania
Hypericum Calycinum	Hypericum
Lonicera Japonica	Halls Honeysuckle
Myoporum species	Myoporum
Rosemarinus officinalis species	Rosemary
Turf grasses	Various drought tolerant varieties

**TABLE 6.1 - CONTINUED**

<b>SHRUBS</b>	
<b>Botanical Name</b>	<b>Common Name</b>
Abelia spp.	Abelia
Agapanthus sp.	Lily of the Nile
Arctostaphylos sp.	Manzanita
Baccharis sp.	Desert broom
Ceanothus sp.	California lilac
Cistus spp.	Rockrose
Cotoneaster species	Cotoneaster
Dietes Veseta	Fortnight lily
Elaeagnus pungens	Silver berry
Escallonia fradesii	Pink escallonia
Euryops pectinatus	No Common Name (NCN)
Feijoa sellowiana	Pineapple guava
Grevillea Noelli	NCN
Grewia caffra	Lavender starflower
Hemerocallis species	Daylily
Heteromeles arbutifolia	Toyon
Iris douglasiana	Douglas iris
Juniperus torulosa	Hollywood juniper
Juniperus h. Bar Harbor	Bar Harbor true juniper
Lavandula spp.	Lavenders
Ligustrum spp.	Privet
Moraea bicolor	Fortnight lily
Myrtus communis	True myrtle
Nandina spp.	Heavenly bamboo
Ornamental grasses	Fountain grass
Phormium tenax	New Zealand flax
Photinia fraseri	Photinia
Pittosporum tobira	Mock orange
Plumbago auriculata	Cape plumbago
Pyracantha species	Firethorn
Rhapiolepis spp.	India hawthorn
Rosa californica	California wildrose
Salvia spp.	Sages
Taxus baccata	English yew
Tulbaghia Violacea	Society garlic
Xylosma congestum	Shiny xylosma

<b>VINES</b>	
<b>Botanical Name</b>	<b>Common Name</b>
Distictis buccinatoria	Blood red trumpet vine
Ficus repens*	Creeping fig
Grewia caffra	Lavendar star flower vine
Mac Fadyena unguis-cati*	Cat's claw vine
Parthenocissus tricuspidata*	Boston ivy
Wisteria floribunda	Wisteria

\*One of these vines shall be used on the masonry walls of trash enclosures.